

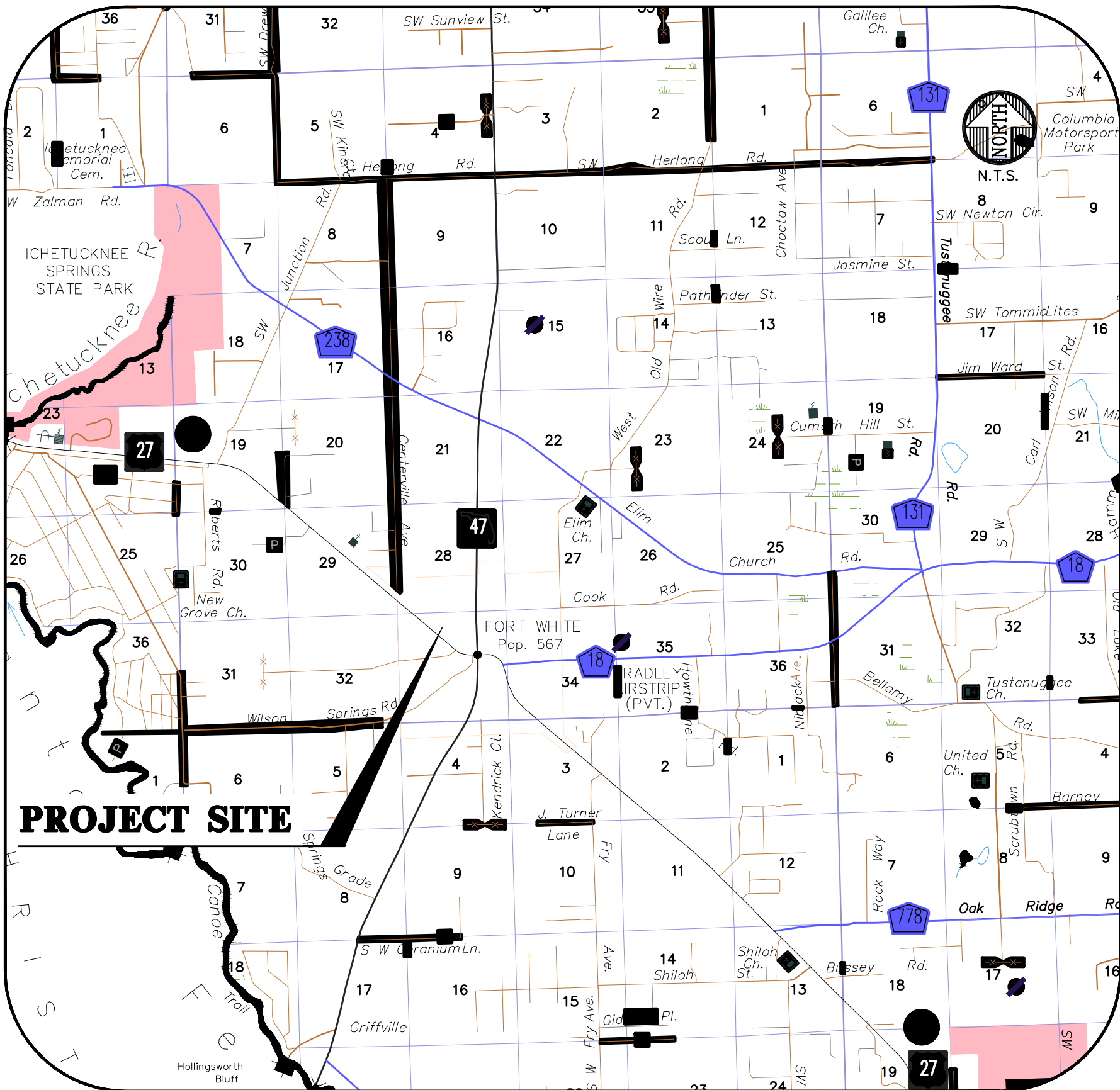
CONSTRUCTION PLANS
FOR:
COMMERCIAL RETAIL STORE
FORT WHITE
COLUMBIA COUNTY, FLORIDA

SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST

SUBMITTED TO:
TOWN OF FORT WHITE
FLORIDA DEPARTMENT OF TRANSPORTATION
SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



VICINITY MAP



LOCATION MAP

DEVELOPMENT DATA

ZONING: CG (GENERAL COMMERCIAL)			
FLU: COMM (GENERAL COMMERCIAL)			
DEVELOPMENT AREA:	88255 S.F.	2.03 AC	100.0%
IMPERVIOUS AREA:	35325 S.F.	0.81 AC	40.0%
BUILDING AREA:	10640 S.F.	0.24 AC	12.1%
ROADS/CURB/CONCRETE/DUMPSTER PAD:	25127 S.F.	0.58 AC	28.5%
SMF:	15562 S.F.	0.36 AC	17.6%
OPEN SPACE:	37343 S.F.	0.86 AC	42.4%
FLOOR AREA:	10213 S.F.	0.23 AC	11.6%
FAR:	11.6%		
LOT COVERAGE:	40.0%		
MAX BUILDING HEIGHT:	19.5 FT		
TAX PARCEL:	PORTION OF #00-00-00-14305-000		
PARKING:	1 SPACE PER 150 SQ FT OF GROSS FLOOR AREA PARKING SPACES REQUIRED: 84 PARKING SPACES PROVIDED: 35 A PARKING REDUCTION WAS SUBMITTED		
HANDICAP PARKING:	1 SPACE PER 25 REGULAR PARKING SPACES HANDICAP SPACES REQUIRED: 2 HANDICAP SPACES PROVIDED: 2		
BICYCLE PARKING:	2 SPACES PER 20 REQUIRED REGULAR PARKING SPACES BICYCLE SPACES REQUIRED: 2 BICYCLE SPACES PROVIDED: 2		
MOTORCYCLE SPACES REQUIRED:	1 SPACE PER 10 REGULAR PARKING SPACES MOTORCYCLE SPACES REQUIRED: 4 MOTORCYCLE SPACES PROVIDED: 4		

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C0.00	COVER SHEET AND INDEX
C0.10	GENERAL NOTES
C0.11	LEGEND
1-2 OF 2	SURVEY(S)
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21 - C0.22	STORMWATER POLLUTION PREVENTION PLAN(S) AND DETAILS
C0.30	DEMOLITION AND TREE PROTECTION PLAN(S)
C1.00	HORIZONTAL CONTROL AND SITE PLAN
C2.00	GRADING AND DRAINAGE PLAN
C2.20 - C2.21	STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS
C2.30	CONSTRUCTION DETAILS
C3.00	UTILITY PLAN
LS-01 - LS-03	LANDSCAPE PLAN(S)
E-1	SITE PHOTOMETRIC PLAN
E-2	FIXTURE INFORMATION
A2.0	EXTERIOR ELEVATIONS AND EXTERIOR FINISH SCHEDULE
C1.0	DUMPSTER ENCLOSURE DETAILS

SURVEYOR OF RECORD

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CHW
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ALACHUA, FL 32615
(352) 331-1976

LANDSCAPE ARCHITECT

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1354 N. KYLE WAY
ST. JOHNS, FL 32259
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DEVELOPER

MATT CASON, PRESIDENT
CONCEPT DEVELOPMENT, INC
5200 NW 43RD STREET
SUITE 102-381
GAINESVILLE, FL 32606
(352) 333-3233

PROPERTY OWNER

BLUEBERRY HILL PROPERTIES, LLC
2927 SW TUSTENUGGEE AVE
LAKE CITY, FL 32025

PHOTOMETRIC

KENNETH HUNTER
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696 1ST AVE N, STE 200
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ENGINEER OF RECORD

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est. 1988
FLORIDA
CA-5075

CHW

Professional Consultants

N/A

VERIFY SCALE
BASE IS ONE INCH ON
0' = 100' HORIZONTAL
1" = 10' VERTICAL
IF NOT ONE INCH ON
BASE, SCALE IS INDICATED
ON EACH SHEET
SCALES ACCORDINGLY

CONSTRUCTION AND REVISIONS

08-25-23 FDOT ACCESS
09-05-23 FDOT DRAINAGE
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT

CONCEPT DEVELOPMENT, INC.

PROJECT

COMMERCIAL RETAIL STORE
FORT WHITE

DESIGNER

G. WADZINSKI

QUALITY CONTROL

N. COWAP, P.E.

PROJECT NUMBER

T. HASTAY, P.E.

SHEET TITLE

COVER SHEET AND INDEX

23-0250

FL PE No. 91233

SHEET NO.

C0.00

GENERAL NOTES

- THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED JULY 27, 2023.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY COLUMBIA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2023-24 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JULY 2023, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. ALL STRIPING WITHIN THE FDOT RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2018 EDITION, SECTION 120.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT STANDARDS PLANS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE FDOT.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

DEMOLITION GENERAL NOTES

3. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.
- ## **PAVING, GRADING, AND DRAINAGE GENERAL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
- A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
 - B. NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - C. B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
 - D. C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
 - E. D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - F. E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
 - G. F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
 - H. G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

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 - B. NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - C. B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FOOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
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 - H. G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
 3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
 4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
 5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
 6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
 7. CONTRACTOR IS TO SUBMIT FOOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
 8. AS DETERMINED NECESSARY AND DIRECTED BY COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMESTONE BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FOOT INDEX 120-001 AND 120-002.
 9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMP ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
 - C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"x60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
 11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
 12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
 13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
 14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
 15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
 16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FOOT INDEX 524-001 AND FOOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
 17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FOOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
 18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS 1 SURFACE FINISH.
 19. ALL HOPE FITTINGS AND CONNECTORS SHALL BE WINTER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
 20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MOUD ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
 21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FOOT STANDARD SPECIFICATION SECTION 430.

WATER AND WASTEWATER GENERAL NOTES

1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.
4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES US THE CONTRACTOR'S RESPONSIBILITY.
6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
8. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN SIX FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GRAVITY OR PRESSURE WASTEWATER MAINS. WASTEWATER FORCE MAINS AND RECLAIMED WATER MAINS NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN THREE FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND VACUUM WASTEWATER MAINS. A HORIZONTAL SEPARATION OF THREE FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.
10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
11. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.
12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.
13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONSTRUCTOR TO INSTALL THE NEW WATER SERVICE LINE.
14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE 1.0% AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.6% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.
15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.
2. ELECTRIC DESIGN PROVIDED BY CLAY ELECTRIC.

FDOT GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE FOLLOWING:
 - A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2023).
 - B. FDOT STANDARD PLANS (FY 2023-2024 ROAD CONSTRUCTION)
 - C. FDOT DESIGN MANUAL (2023)
 - D. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
2. SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER / PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY. IN NO CASE WILL ANYTHING LESS THAN THE DEPARTMENT'S MINIMUM STANDARD BE ALLOWED.
3. ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC.
4. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD.
5. ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
6. ALL DISTURBED AREA WITH THE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTPEDEE IN UTILITY STRIPS).

FL/PE NO: 91233 C0.10		SHEET NO.	
CLIENT: G. WADZINSKI CONCEPT DEVELOPMENT, INC.	SUBMITTALS: 08-25-23 FOOT ACCESS 09-01-23 FOOT WHITE 09-02-23 FOOT DRAINAGE 11-13-23 TOWN OF FORT WHITE 12-14-23 FOOT WHITE, FOOT ACCESS 12-14-23 FOOT ACCESS 01-31-24 TOWN OF FORT WHITE	CONSTRUCTION/REVISIONS:	SCALE: N/A VERIFY SCALE BAR IS VERIFIED ON ORIGINAL DRAWING 0 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.
PROJECT: COMMERCIAL RETAIL STORE FORT WHITE	DESIGNER: N. COWAP, P.E.	TECHNICAL: N. COWAP, P.E.	
QUALITY CONTROL: T. HASTAY, P.E.	SHEET TITLE: GENERAL NOTES	PROJECT NUMBER: 23-0250	

ABBREVIATIONS

SYMBOLS		N	
·	FEET (WHEN USED WITH LENGTHS)	N	NORTH
°	DEGREES	N-E	NORTHING - EASTING
'	MINUTES (WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
"	SECONDS	NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
%	PERCENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
@	AT	NO	NUMBER
A		NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
AASHTO	ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	NTS	NOT TO SCALE
AC	ACRES	O	
ADA	AMERICAN WITH DISABILITIES ACT	OC	ON CENTER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OHW	OVERHEAD WIRE
ARCH	ARCHITECT	ORB	OFFICIAL RECORDS BOOK
ARV	AIR RELEASE VALVE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	P	
AWWA	AMERICAN WATER WORKS ASSOCIATION	PAVT	PAVEMENT
B		PC	POINT OF CURVATURE
BC	BACK OF CURB	PCC	POINT OF COMPOUND CURVE
BFP	BACKFLOW PREVENTER	PE	POLYETHYLENE
BLDG	BUILDING	PERF	PERFORATED
BM	BENCHMARK	PV	POST INDICATOR VALVE
BMP	BEST MANAGEMENT PRACTICE	PROP	PROPOSED
BOS	BACK OF CURB	PT	POINT OF TANGENCY
BVCS	BEGIN VERTICAL CURVE STATION	PVC	POLYVINYL CHLORIDE
BVCE	BEGIN VERTICAL CURVE ELEVATION	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVI	POINT OF VERTICAL INTERSECTION
BSL	BUILDING SETBACK LINE	R	
C		R	RADIUS
CATV	CABLE TELEVISION	RCP	REINFORCED CONCRETE PIPE
CI	CURB INLET	RPM	RAISED REFLECTIVE PAVEMENT MARKER
CP	CAST IRON PIPE	RPS	REDUCED PRESSURE ZONE
CLDIP	CEMENT LINE DUCTILE IRON PIPE	RT	RIGHT
CMP	CORRUGATED METAL PIPE	RWM	RECLAIMED WATER MAIN
CO	CLEANOUT	R/W	RIGHT-OF-WAY
COA	CITY OF ALACHUA	S	
CONC	CONCRETE	S	SOUTH
COORD	COORDINATE	SAN	SANITARY
CR	COUNTY ROAD	SHWE	SEASONAL HIGH WATER ELEVATION
C/O	CLEANOUT	SL	SLOPE
D		SP	SUPERPAVE
DBH	DIAMETER AT BREAST HEIGHT	SR	STATE ROAD
DE	DRAINAGE EASEMENT	SS	SANITARY SEWER
DEG	DEGREE	ST	STORM
DIA	DIAMETER	STA	STATION
DIP	DUCTILE IRON PIPE	STD	STANDARD
DWG	DRAWING	T	
E		TB	TREE BARRICADE
e	RATE OF ELEVATION	TCE	TEMPORARY CONSTRUCTION EASEMENT
E	EAST	TEMP	TEMPORARY
EA	EACH	TOR	TOP OF BANK
EL	ELEVATION	TV	TELEVISION
ELEV	ELEVATION	TW	TOP OF WALL
EOP	EDGE OF PAVEMENT	TYP	TYPICAL
EOR	ENGINEER OF RECORD	U	
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	USF	UNITED STATES FOUNDRY
ESMT	EASEMENT	USGS	UNITED STATES GEOLOGICAL SURVEY
EVCS	END VERTICAL CURVE STATION	UTIL	UTILITY
EVCE	END VERTICAL CURVE ELEVATION	V	
EX	EXISTING	V	VERTICAL
F		VC	VERTICAL CURVE
FAC	FLORIDA ADMINISTRATIVE CODE	VCP	VITRIFIED CLAY PIPE
FBR	FLORIDA BEARING RATIO	W	
FC	FRICTION COURSE	W	WEST
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	W	WATER
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	W/	WITH
FFE	FINISHED FLOOR ELEVATION	WM	WATER MAIN
FH	FIRE HYDRANT	WW	WASTEWATER
FWHA	FLORIDA HIGHWAY ADMINISTRATION	WWF	WELDED WIRE FABRIC
FIG	FIGURE	G	
FM	FORCE MAIN	GALV	GALVANIZED
FOC	FACE OF CURB	GM	GAS MAIN
FS	FLORIDA STATUTES	GV	GATE VALVE
FT	FEET	H	
I		HDPE	HIGH DENSITY POLYETHYLENE
ID	IDENTIFICATION	HP	HIGH POINT
INV	INVERT	K	
INV EL	INVERT ELEVATION	K	VERTICAL CURVE RATE OF CHANGE
IP	IRON PIPE	L	
K		L	LENGTH
L		LA	LANDSCAPE ARCHITECT
LBR	LIMEROCK BEARING RATIO	LDR	LAND DEVELOPMENT REGULATION
LDR	LAND DEVELOPMENT REGULATION	LF	LINEAR FEET
LP	LOW POINT	LT	LEFT
LT	LEFT	M	
M		MAX	MAXIMUM
ME	MATCH EXISTING	MH	MANHOLE
MIN	MINIMUM	MISC	MISCELLANEOUS
MISC	MISCELLANEOUS	MJ	MECHANICAL JOINT
MJ	MECHANICAL JOINT	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	P	

SIGNAGE

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.

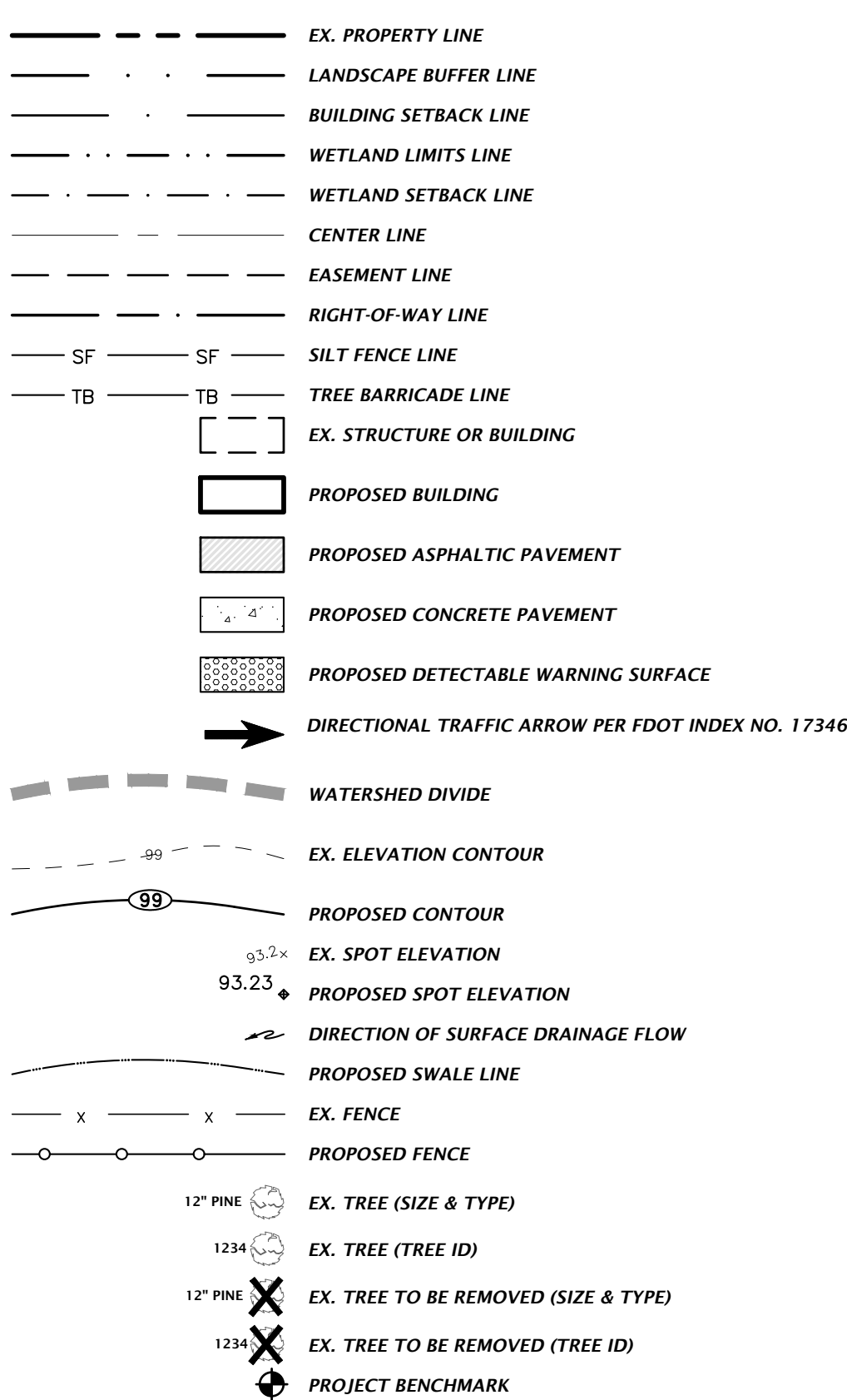


FTP-20-06 (12" X 18") PER FDOT INDEX NO. 700-102



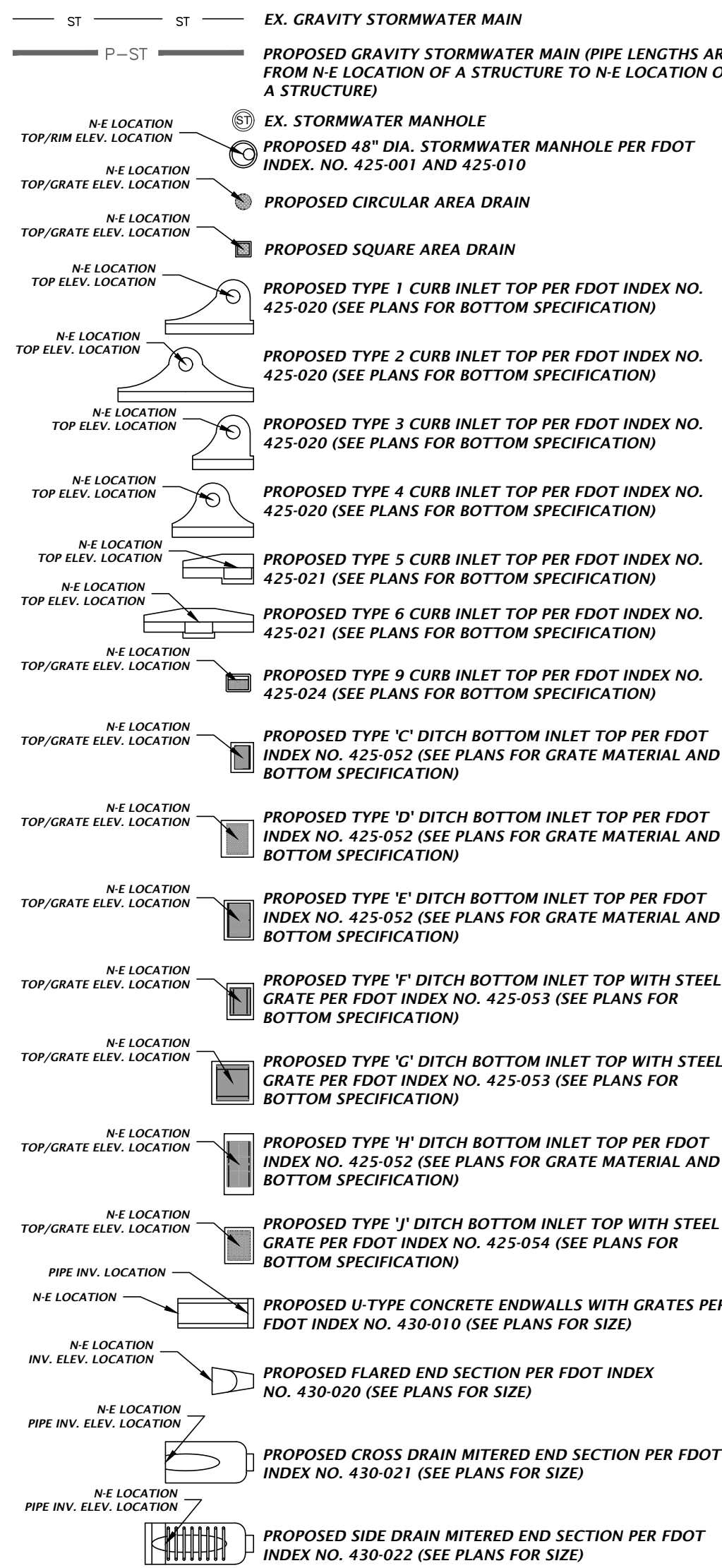
R1-1 "STOP" - SEE PLANS FOR SIZE

SITE INFORMATION



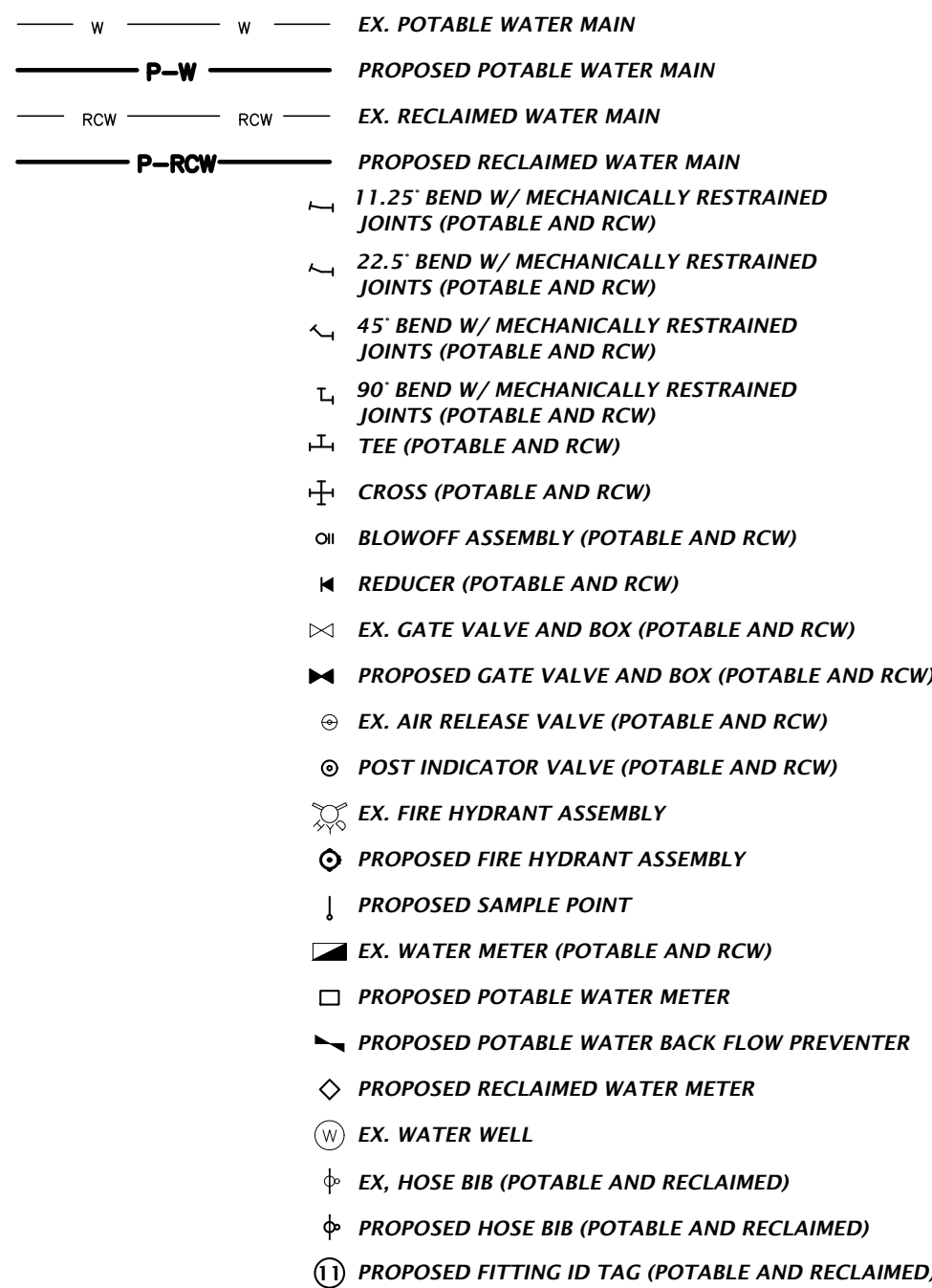
STORMWATER

THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS.

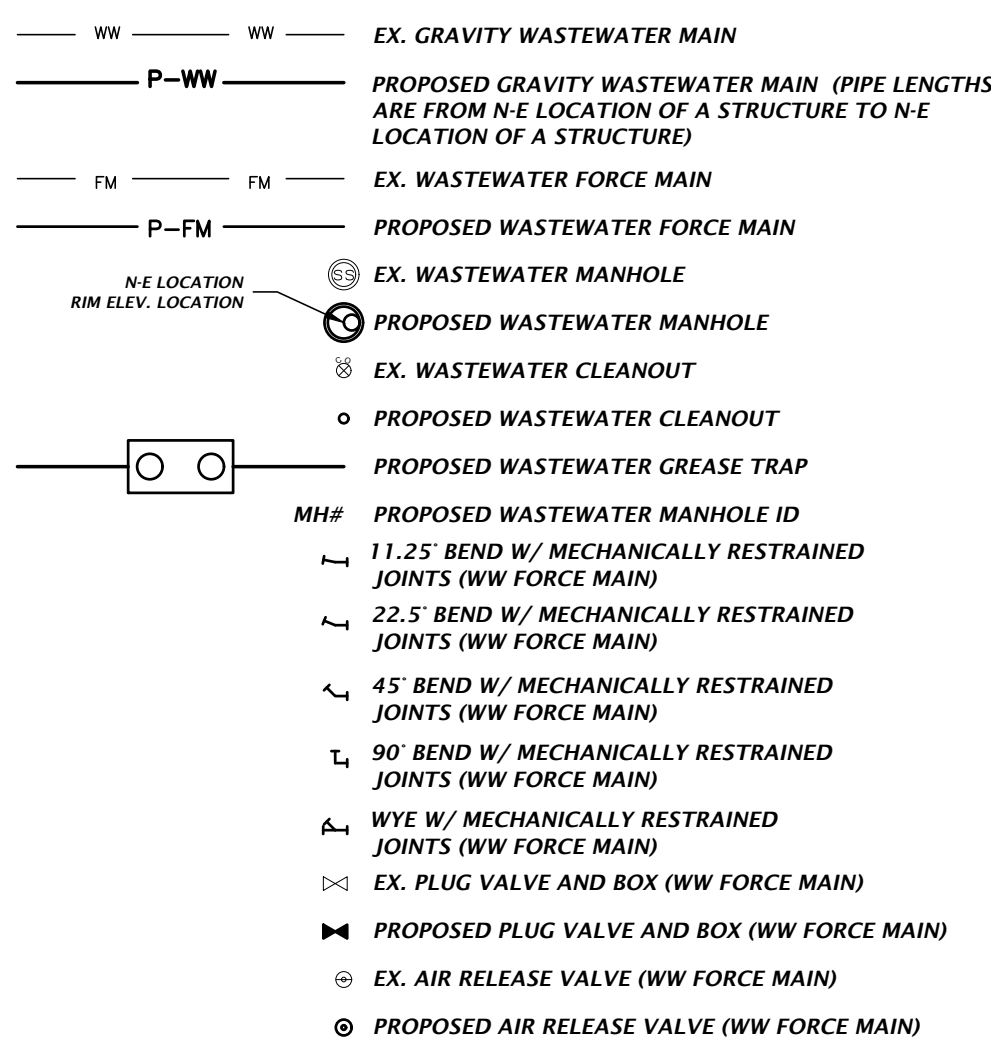


S-10 PROPOSED STORMWATER STRUCTURE ID TAG

POTABLE AND RECLAIMED WATER

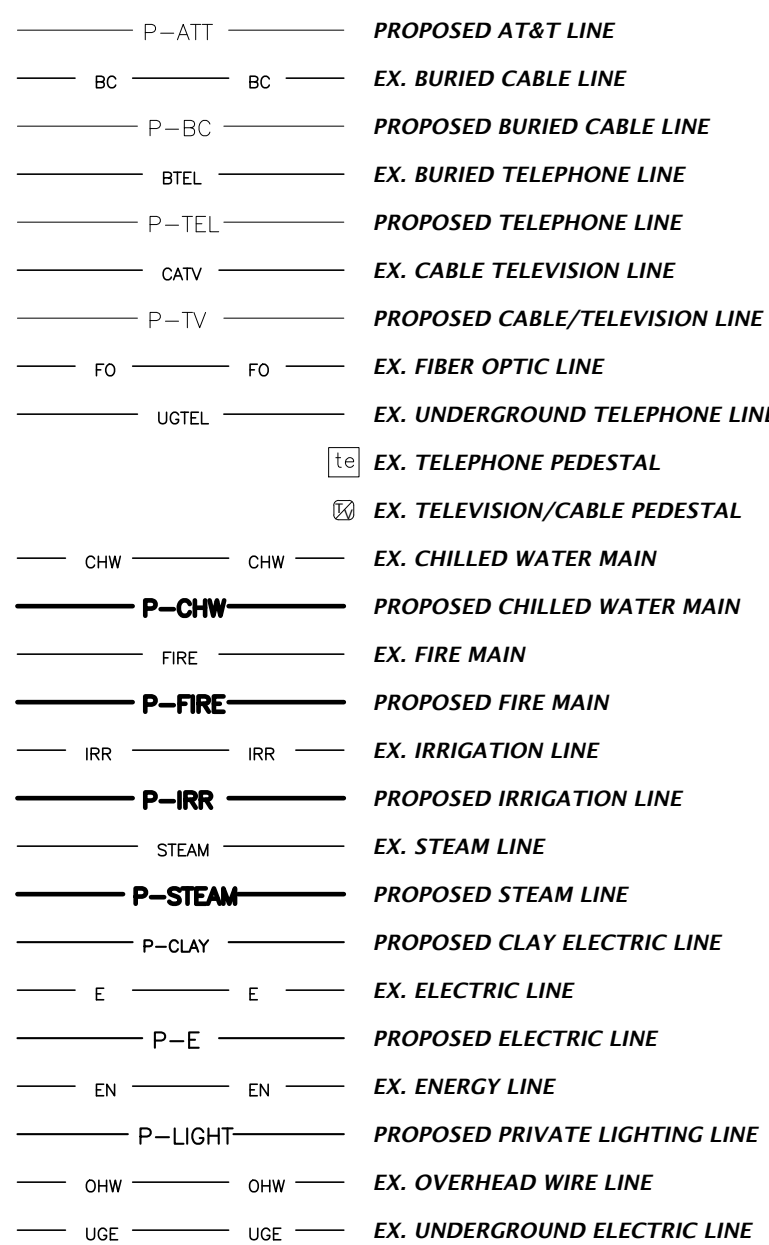


WASTEWATER



MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.



NOTES:
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.

2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

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est. 1988 FLORIDA
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CHW
Professional Consultants

N/A
VERIFY SCALE
BAR IS ONE INCH ON
DRAWING, EQUALS
1" IF NOT ONE INCH ON
DRAWING, ALL
SIZES ACCORDINGLY.

CONSTRUCTION NOTATIONS

SUBMITTALS
08-24-23 FDOT ACCESS
09-05-23 FDOT ACCESS
11-13-23 TOWN OF FORT WHITE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT
CONCEPT DEVELOPMENT, INC.

TECHNICIAN
G. WADZINSKI

DESIGNER
N. COWAP, P.E.

QUALITY CONTROL
T. HASTAY, P.E.

PROJECT NUMBER
23-0250

FL PE No. 91233

SHEET NO.
C0.11

ALTA/NSPS LAND TITLE SURVEY
LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF
OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST,
TOWN OF FORT WHITE, COLUMBIA COUNTY, FLORIDA

DESCRIPTION: (SUBJECT PARCEL)(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 19, 2023)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF COLUMBIA, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PART OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING PART OF BLOCK "F" OF THE TOWN FT. WHITE, FLORIDA, AS SHOWN ON PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 48, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A TRIANGLE SHAPED CONCRETE MONUMENT MARKING THE NW CORNER OF THE NE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING ALSO THE NW CORNER OF BLOCK "F" OF THE TOWN FT. WHITE, FLORIDA, AS SHOWN ON PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 48, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND THENCE N.88 DEGREES 33'22" E. ALONG THE MONUMENTED NORTH LINE OF SAID BLOCK "F", 833.87 FEET TO A 5/8" IRON ROD, L.S. 4708; THENCE S.11 DEGREES 41'59" W., 888.23 FEET TO A 5/8" IRON ROD, L.S. 4709, ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U. S. HIGHWAY NO. 27 (STATE ROAD NO. 20), AS MONUMENTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION; THENCE N.48 DEGREES 32'44" W. ALONG SAID RIGHT-OF-WAY LINE, 836.37 FEET TO A CONCRETE MONUMENT ON THE WEST LINE OF SAID BLOCK "F" (WEST LINE OF SAID NE 1/4 OF THE NW 1/4); THENCE N.00 DEGREES 55'55" W., 393.04 FEET TO THE POINT OF BEGINNING.

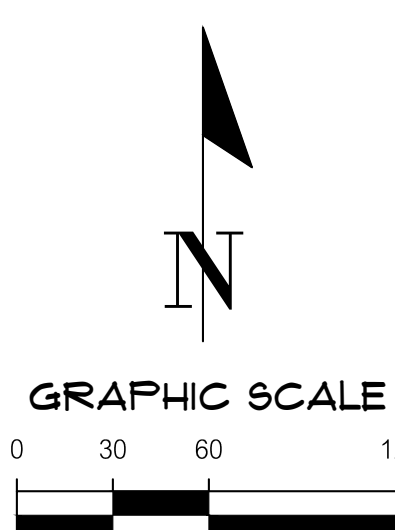
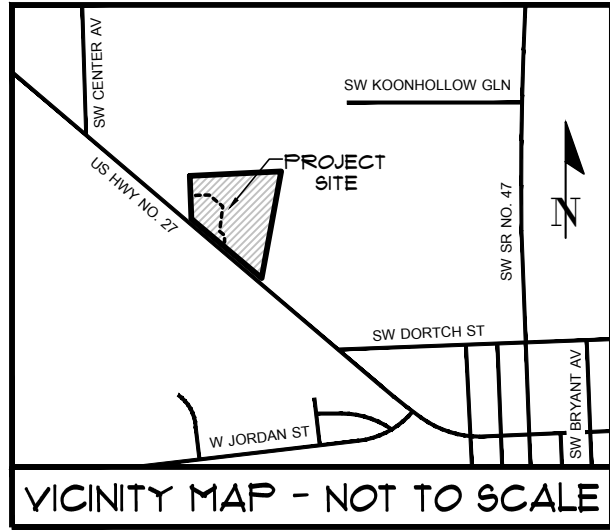
TOGETHER WITH THE MOBILE HOME(S) SITUATE THEREON.

DESCRIPTION: ("PARCEL A")(PREPARED BY THIS SURVEYOR)

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, BEING A PORTION OF BLOCK "F" OF THE TOWN OF FT. WHITE, FLORIDA, AS SHOWN IN PLAT BOOK "1", PAGE 48 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE SPECIFICALLY BEING A PORTION OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1439, PAGE 2365 OF SAID PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF AFOREMENTIONED NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4), SAID CORNER ALSO BEING THE NORTHWEST CORNER OF AFOREMENTIONED BLOCK "F" OF THE TOWN OF FT. WHITE; THENCE SOUTH 00°55'12" EAST, ALONG THE WEST LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION AND ALONG THE WEST LINE OF SAID BLOCK "F" OF THE TOWN OF FT. WHITE, A DISTANCE OF 180.00 FEET TO THE POINT OF BEGINNING; THENCE, DEPARTING SAID WEST LINE, THE FOLLOWING SIX (6) COURSES: (1) NORTH 89°30'36" EAST, A DISTANCE OF 169.87 FEET; (2) SOUTH 48°33'39" EAST, A DISTANCE OF 162.04 FEET; (3) SOUTH 08°27'22" WEST, A DISTANCE OF 228.26 FEET; (4) SOUTH 48°33'26" EAST, A DISTANCE OF 58.14 FEET; (5) SOUTH 00°39'19" WEST, A DISTANCE OF 58.88 FEET; (6) SOUTH 42°02'39" WEST, A DISTANCE OF 34.93 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE OF S.W. US HIGHWAY NO. 27 - STATE ROAD NO. 20 (120 FOOT RIGHT OF WAY WIDTH); THENCE NORTH 48°32'58" WEST, ALONG NORTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 365.33 FEET TO AFOREMENTIONED WEST LINE OF BLOCK "F" AND AFOREMENTIONED WEST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4); THENCE, DEPARTING SAID NORTHEASTERLY RIGHT OF WAY LINE, NORTH 00°55'50" WEST ALONG SAID WEST LINE AND ALONG SAID WEST LINE, A DISTANCE OF 213.05 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINING ± 2.03 ACRES, MORE OR LESS.



ZONING RESTRICTIONS:
(AS FURNISHED)
ZONING: AGRICULTURE
FUTURE ZONING: GENERAL COMMERCIAL
MINIMUM SETBACK REQUIREMENTS
(GENERAL COMMERCIAL):
- FRONT: 20' (SOUTHWEST)

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 00°55'50" W FOR THE WEST LINE OF THE SUBJECT PARCEL, SAID BEARING IS IDENTICAL WITH THE RECORDED DEED.
- VERTICAL DATUM IS SHOWN IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND IS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION CONTROL MONUMENT NAMED 2905001BM5, BEING A ROUND CONCRETE MONUMENT WITH FDOT BRASS DISK, STAMPED "2905001BM5" WITH A PUBLISHED ELEVATION 74.00 FEET (NAVD 88). BENCHMARK IS LOCATED APPROXIMATELY NORTH 76°57'52" WEST 263 FEET ± FROM THE SOUTHWEST CORNER OF THE SITE.
- OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH E (M) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCR OACH.
- FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 23, 2023. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
- THE NEAREST INTERSECTION IS OF S.W. US HIGHWAY NO. 27 AND S.W. DORTCH STREET AND IS APPROXIMATELY 1000 FEET TO THE SOUTHEAST.
- THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE* LAYERS IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
- BOTH THE SUBJECT PARCEL AND "PARCEL A" ARE LOCATED ADJACENT TO THE NORTHEASTERLY RIGHT OF WAY LINE OF S.W. US HIGHWAY NO. 27.
- PROJECT LIMITS ARE PER CLIENT SPECIFICATIONS.
- THIS SURVEY IS A TOTAL OF TWO (2) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION FOR THE SUBJECT PARCEL AND PARCEL "A". SEE SHEET TWO (2) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.

SCHEDULE B-2: (AS FURNISHED PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 23, 2023)

ITEM NO. 9: THIS PROPERTY IS SUBJECT TO THE EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 776, PAGE 851. (AS SHOWN HEREON)

FLOOD ZONE:

THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 490 OF 552, COMMUNITY NUMBER AND PANEL "120203 0490 C, EFFECTIVE DATE: FEBRUARY 4, 2009.

LEGEND:

- (D) = DATA BASED ON FURNISHED DESCRIPTION
(M) = DATA BASED ON FIELD MEASUREMENTS
FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M. = FLOOD INSURANCE RATE MAP
SEC#-TR#-RW = SECTION, TOWNSHIP, RANGE
INV = INVERT
CMP = CORRUGATED METAL PIPE
RW = RIGHT OF WAY
O.R.B. = OFFICIAL RECORDS BOOK
PB. = PLAT BOOK
PG. = PAGE
LO = LIVE OAK TREE
LAO = LAUREL OAK TREE
CHY = CHERRY TREE
PINE = PINE TREE
POST = POST OAK TREE
TO = TURKEY OAK TREE
● = FOUND 5/8" STEEL ROD & CAP (NOTED)
△ = TRIANGLE CONCRETE MONUMENT (NO ID.)
- = FOUND 4"x4" CONCRETE MONUMENT (NOTED)
● = SET 5/8" STEEL ROD & CAP (LB 5075)
☐ = AIR CONDITIONER
☐ = GUY ANCHOR
☐ = MAILBOX
☐ = SIGN
☐ = TELEPHONE PEDESTAL
☐ = FIRE HYDRANT
☐ = WOODEN POWER POLE
☐ = WATER VALVE
☐ = WATER METER
☐ = METERED END SECTION
☐ = WATER LINE FLAG (BY OTHERS)
☐ = TREE (SIZE/TYPE NOTED)
☐ = BENCHMARK
- = PARCEL A BOUNDARY LINE
--- = RIGHT OF WAY LINE
--- = ADJOINING BOUNDARY LIEN
--- = SUBJECT PARCEL BOUNDARY LINE
--- = MATCH LINE
--- = OVERHEAD WIRE
--- (W) = BURIED WATER LINE (PER PLAN)
--- X = 4' HOG WIRE FENCE
74. = CONTOUR LINE
X 74.5 = SPOT ELEVATION (PREVIOUS)
X 74.45 = SPOT ELEVATION (IMPERVIOUS)
--- = ASPHALT SURFACE
--- = DIRT/LIME/ROCK SURFACE

SURVEYOR'S CERTIFICATION:

TO: CONCEPT DEVELOPMENT, INC., A FLORIDA CORPORATION, PROVIDENCE TITLE COMPANY, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY.

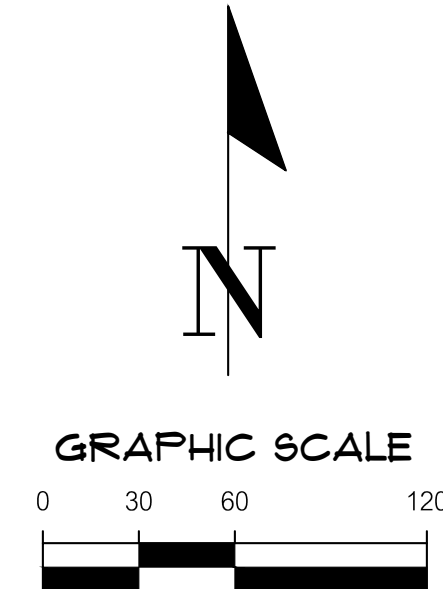
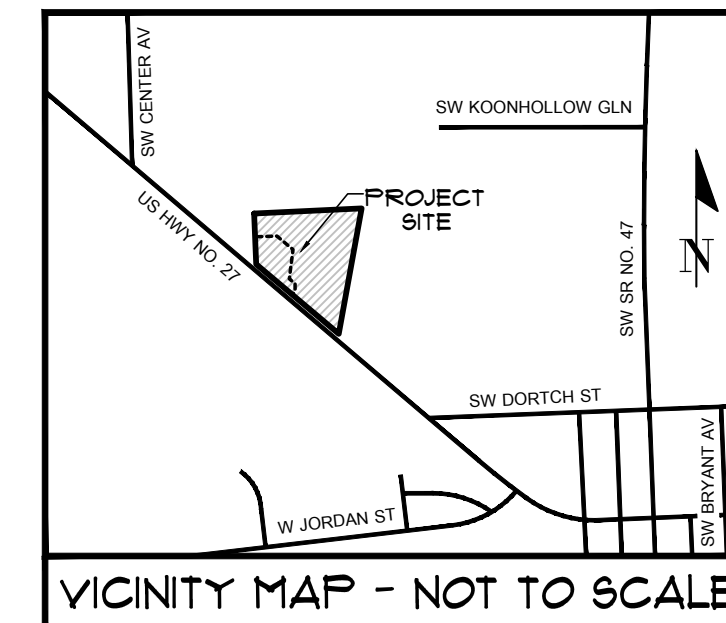
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 8, 9, 11(a), 13, 14, 16, 17, 18 AND 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 24, 2023.

CHAD A COLSON, P.S.M.
FLORIDA SURVEYOR & MAPPER CERTIFICATE NUMBER 7142
CHAD@CHW-INC.COM

DATE OF PLAT OR MAP:

LINE DATA TABLE		
LINE	DIRECTION	LENGTH
L1	S 48°33'26" E	58.14'
L2	S 0°39'19" W	58.88'
L3	S 42°02'39" W	34.93'

LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF
OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST,
TOWN OF FORT WHITE, COLUMBIA COUNTY, FLORIDA



ZONING RESTRICTIONS:
(AS FURNISHED)
ZONING: AGRICULTURE
FUTURE ZONING: GENERAL COMMERCIAL
MINIMUM SETBACK REQUIREMENTS
(GENERAL COMMERCIAL):
- FRONT: 20' (SOUTHWEST)
- SIDE: 10' (NORTHWEST AND SOUTHEAST)
- REAR: 15' (NORTHEAST)

PARKING REQUIREMENTS:
- 83 SPACES




























FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 49 OF 552, COMMUNITY NUMBER AND PANEL *120023 0490 C, EFFECTIVE DATE: FEBRUARY 4, 2009.

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 00°55'55"E FOR THE WEST LINE OF THE SUBJECT PARCEL, SAID BEARING IS IDENTICAL WITH THE RECORDED DEED.
2. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS8) AND IS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION CONTROL MONUMENT NAMED 29050011BMS, BEING A ROUND CONCRETE MONUMENT WITH TOP BRASS DISC, STAMPED "29050011BMS" WITH A PUBLISHED ELEVATION 74.00 FEET TO 89. BENCHMARK IS LOCATED APPROXIMATELY NORTH 70°51'52" WEST 263.1 FEET # FROM THE SOUTHWEST CORNER OF THE SITE.
3. OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH E (IV) OF THE ALTA SURPS MINIMUM STANDARD DETAIL REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SECTION 5 PARAGRAPH D(1) OR SECTION 5 PARAGRAPH E(IV) OF THE ALTA SURPS MINIMUM STANDARD DETAIL REQUIREMENTS, THE SURVEYOR HAS NOT BEEN REQUIRED TO LOCATE OR IDENTIFY UTILITIES IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
4. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
5. FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
6. IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
7. THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, DATED 12/01/2023. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
8. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, IF E.M.A (FLOOD INSURANCE RATE MAPS) SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
9. THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
10. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
11. THE NEAREST INTERSECTION IS OF S.W. US HIGHWAY NO. 27 AND S.W. DORTCH STREET AND IS APPROXIMATELY 1000 FEET TO THE SOUTHEAST.
12. THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
13. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
14. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE S-VNOD= LAYERS IN THE SUPPLIED DIGITAL FILE.
15. TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
16. BOTH THE SUBJECT PARCEL AND "PARCEL A" ARE LOCATED OFF OF THE NORTHERLY RIGHT OF WAY LINE OF S.W. US HIGHWAY NO. 27.
17. PROJECT LIMITS ARE PER CLIENT SPECIFICATIONS.
18. THIS SURVEY IS A TOTAL OF TWO (2) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION FOR THE SUBJECT PARCEL AND PARCEL "A". SEE SHEET TWO (2) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.

LEGEND:

(ID) = DATA BASED ON FURNISHED DESCRIPTION
(IM) = DATA BASED ON FIELD MEASUREMENTS
FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M. = FLOOD INSURANCE RATE MAP
SEC#-Tn-R# = SECTION, TOWNSHIP, RANGE
INV = INVERT
CWP = CORRUGATED METAL PIPE
R/W = RIGHT OF WAY
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PINE = PINE TREE
POST = POST OAK TREE
TO = TURKEY OAK TREE
● = FOUND 5/8" STEEL ROD & CAP (NOTED)
▲ = TRIANGLE CONCRETE MONUMENT (NO ID.)

- | | | | |
|---|---|---|---------------------------------------|
|  | = FOUND 4"x4" CONCRETE MONUMENT (NOTED) |  | = PARCEL A BOUNDARY LINE |
|  | = SET 5/8" STEEL ROD & CAP (LB 5075) |  | = RIGHT OF WAY LINE |
|  | = AIR CONDITIONER |  | = ADJOINING BOUNDARY LIEN |
|  | = GUY ANCHOR |  | = SUBJECT PARCEL BOUNDARY LINE |
|  | = MAILBOX |  | = MATCH LINE |
|  | = SIGN |  | = OVERHEAD WIRE |
|  | = TELEPHONE PEDESTAL |  | = BURIED WATER LINE (PER PLAN) |
|  | = FIRE HYDRANT |  | = 4" HOE WIRE FENCE |
|  | = WOODEN POWER POLE |  | = 74: = CONTOUR LINE |
|  | = WATER VALVE |  | X 74.5 = SPOT ELEVATION (PERVIOUS) |
|  | = WATER METER |  | X 74.45 = SPOT ELEVATION (IMPERVIOUS) |
|  | = MITERED END SECTION |  | = ASPHALT SURFACE |
|  | = WATER LINE FLAG (BY OTHERS) |  | = DIRT/LIMBROCK SURFACE |
|  | = 74: (BY OTHERS, NOTED) | | |

LINE DATA TABLE		
LINE	DIRECTION	LENGTH
L1	S 48°33'26" E	58.14'
L2	S 0°39'19" W	58.88'
L3	S 42°02'39" W	34.93'

Tech: chadoc Plot Date: Oct 25, 2023 1:41pm Filename: C:\AcadResources\Temp\AcPublish_11312\23-0250 ALTA (PRE-CON).dwg

REVISION 10-25-2023: ADDED LOWEST WIRE HEIGHTS.
REVISION 07-27-2023: ADDED PARCEL LINE INFORMATION.

SURVEY DATE: **CERTIFIED TO:**


TECHNICIAN:

CHAD A COLSON

This map prepared by:

SHEET NO.:

2 OF 2



SCALE: 1" = 30'

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING

1" IF NOT ONE INCH ON
THIS SHEET, ADJUST

SEE SHEET 1 OF 2)

REVISION DATE:
05-05-2023

REVISION DATE:
10-25-2023

PROJECT NUMBER:
000000

TECHNICIAN:	NAD
CREW CHIEF:	TJ
CHECKED BY:	KS
FIELD BOOK & PAGE:	

CHAD A COLSON

(SEE SHEET 1 OF 2)

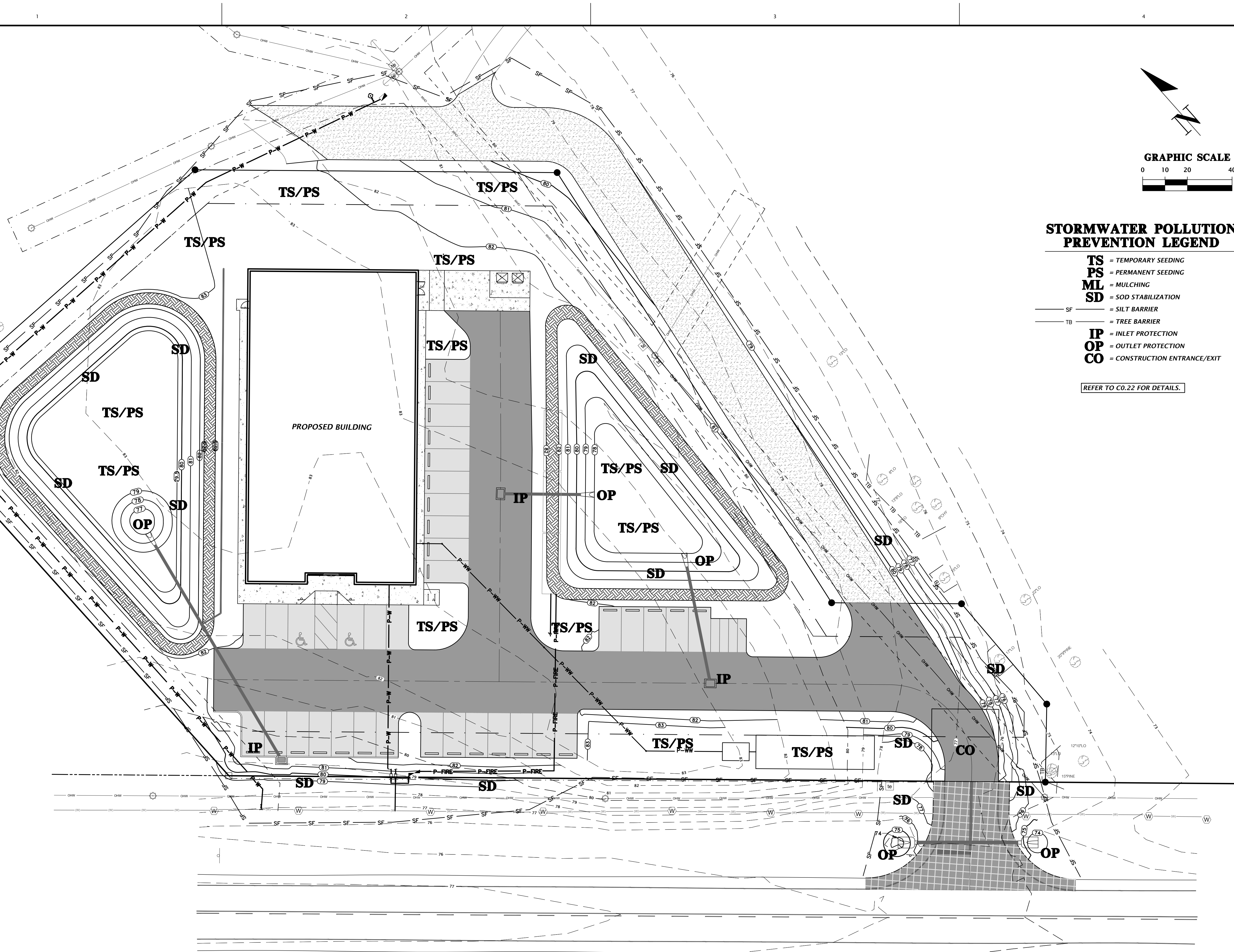
This map prepared by:

SHEET NO.:

2 OF 2

Test: Netw Plot Date: Jan 31, 2024 8:21 am
Filename: N:\2023\23-0250\Drawings\04_Engineering\02_DWG\Production Files\23-0250 SWPP.dwg

A
B
C
D



STORMWATER POLLUTION PREVENTION LEGEND

- TS** = TEMPORARY SEEDING
PS = PERMANENT SEEDING
ML = MULCHING
SD = SOD STABILIZATION
— SF — = SILT BARRIER
— TB — = TREE BARRIER
IP = INLET PROTECTION
OP = OUTLET PROTECTION
CO = CONSTRUCTION ENTRANCE/EXIT

REFER TO C0.22 FOR DETAILS.

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com
est. 1988 **FLORIDA**
CA-5075

CHW
Professional Consultants

SCALE: 1"=20'
VERIFY SCALE
BAR IS ONE INCH ON
DRAWING
IF NOT ONE INCH ON
DRAWING, VERIFY
SCALES ACCORDINGLY

CONSTRUCTION REVISIONS

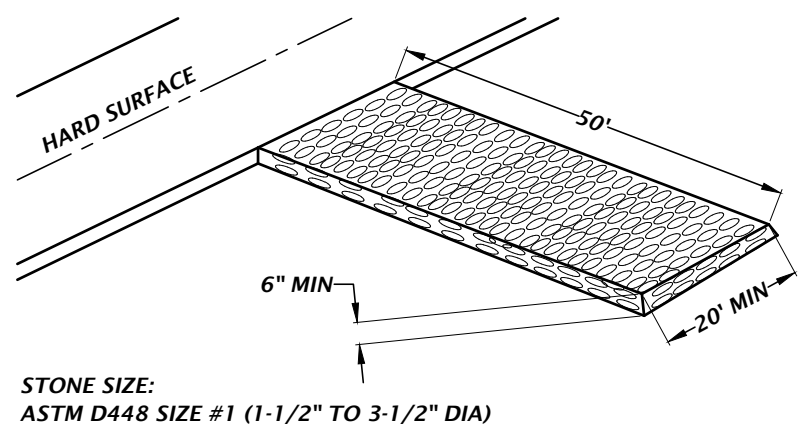
SUBMITTALS:
08-25-23 FDOT ACCESS
09-05-23 TOWN OF FORT WHITE
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 TOWN OF FORT WHITE, FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT: CONCEPT DEVELOPMENT, INC.
PROJECT: COMMERCIAL RETAIL STORE
FORT WHITE
SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN

TECHNICIAN: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
PROJECT NUMBER: 23-0250

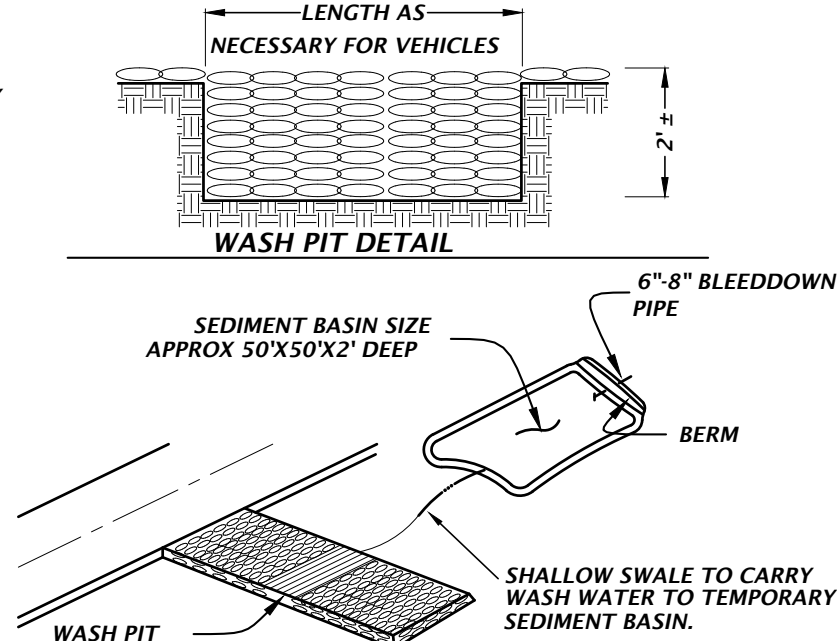
FL PE No. 91233
SHEET NO. **C0.21**

NOTE:
1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.
3. THE WASH PIT SHOULD BE INSTALLED IF THE STANDARD CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE SOILS AND WASHING IS REQ'D.



STONE SIZE:
ASTM D448 SIZE #1 (1-1/2" TO 3-1/2" DIA)
STANDARD CONSTRUCTION EXIT

TEMPORARY CONSTRUCTION EXIT DETAIL



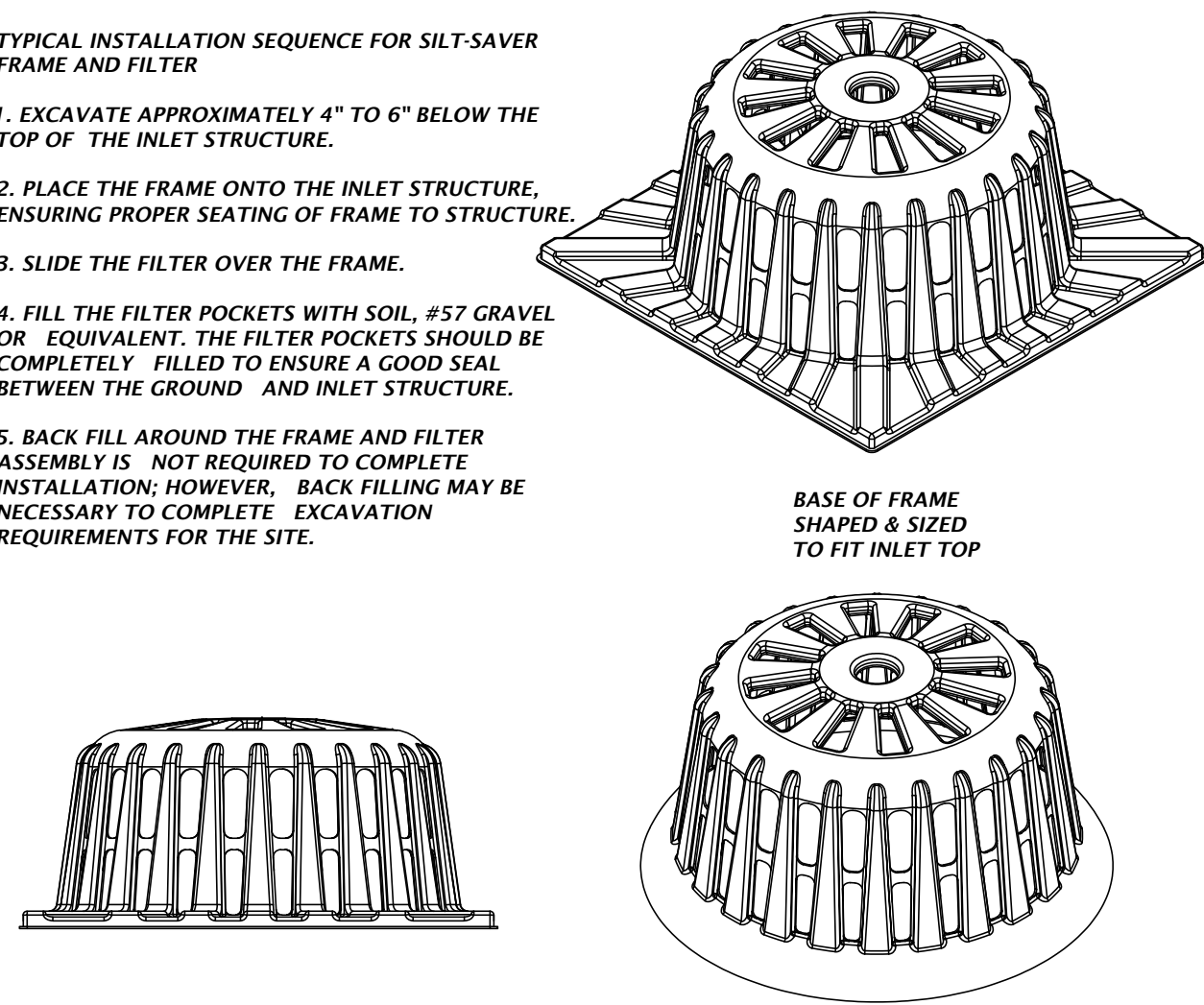
WASH PIT DETAIL
SEDIMENT BASIN SIZE APPROX 50'X50'X2' DEEP
WASH PIT
SHALLOW SWALE TO CARRY WASH WATER TO TEMPORARY SEDIMENT BASIN.

CONSTRUCTION EXIT WITH WASH PIT

NTS

TYPICAL INSTALLATION SEQUENCE FOR SILT-SAVER FRAME AND FILTER

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
3. SLIDE THE FILTER OVER THE FRAME.
4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

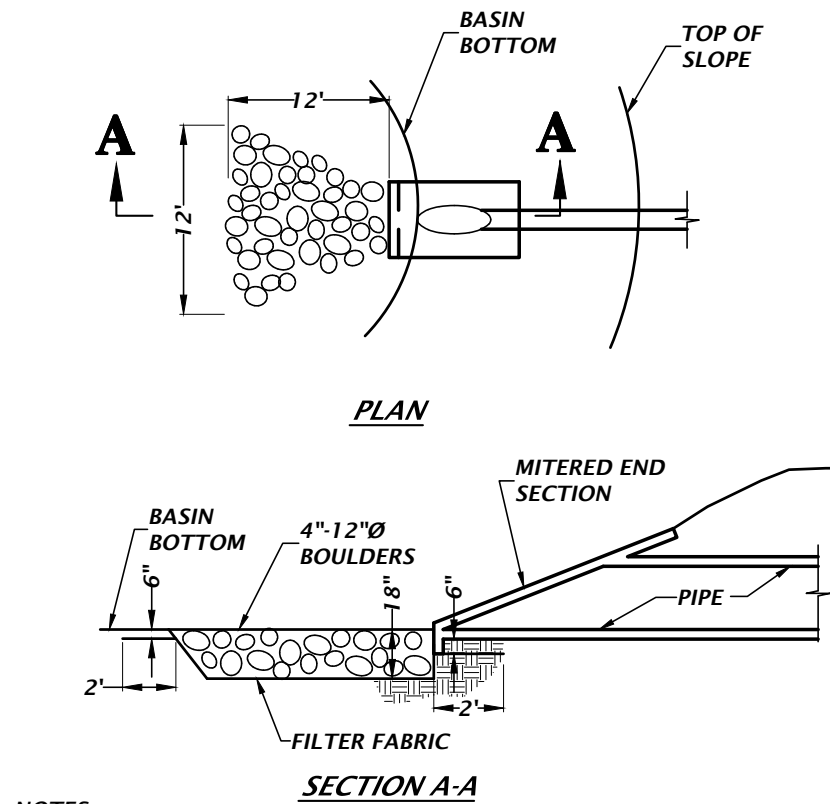


SILT-SAVER® DETAIL

NTS

INLET PROTECTION OPTIONS DETAIL

NTS

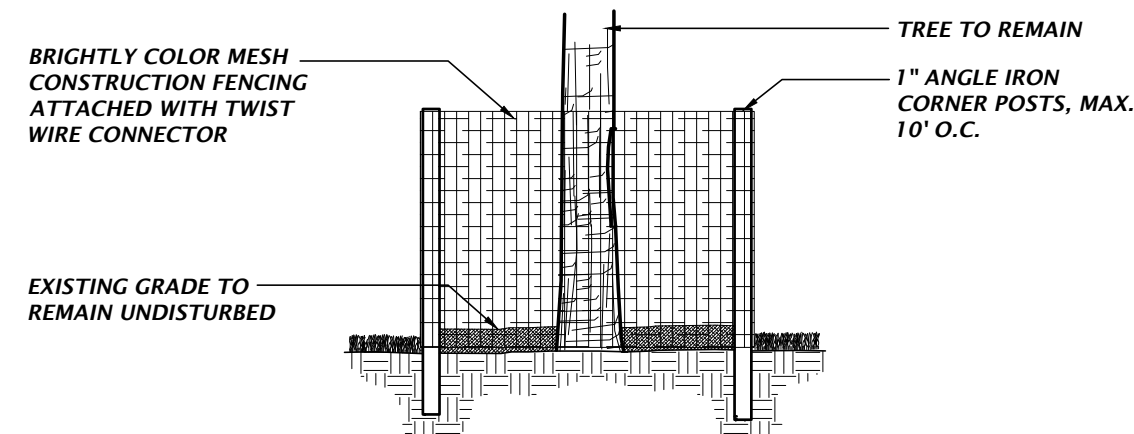


NOTES:

1. ANCHOR FILTER FABRIC BY EXTENDING BEYOND RIPRAP AND BACKFILLING AS SHOWN ON DETAIL.
2. RIPRAP SHALL NOT EXTEND ONTO SIDE SLOPES.
3. ADJUST SHAPE OF APRON WHERE REQUIRED TO MATCH TOE OF SLOPE.
4. BROKEN SLOPE IS NOT ACCEPTABLE.

RIP-RAP EROSION PROTECTION

NTS

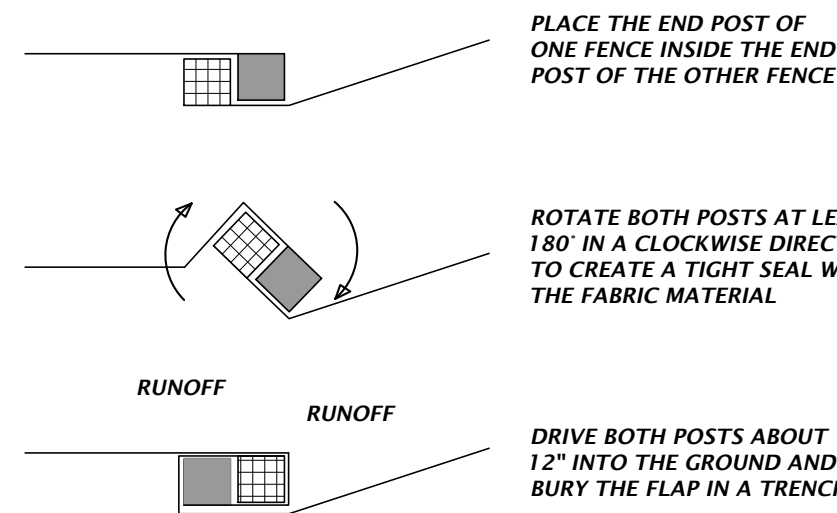


TREE PROTECTION DETAIL

NTS

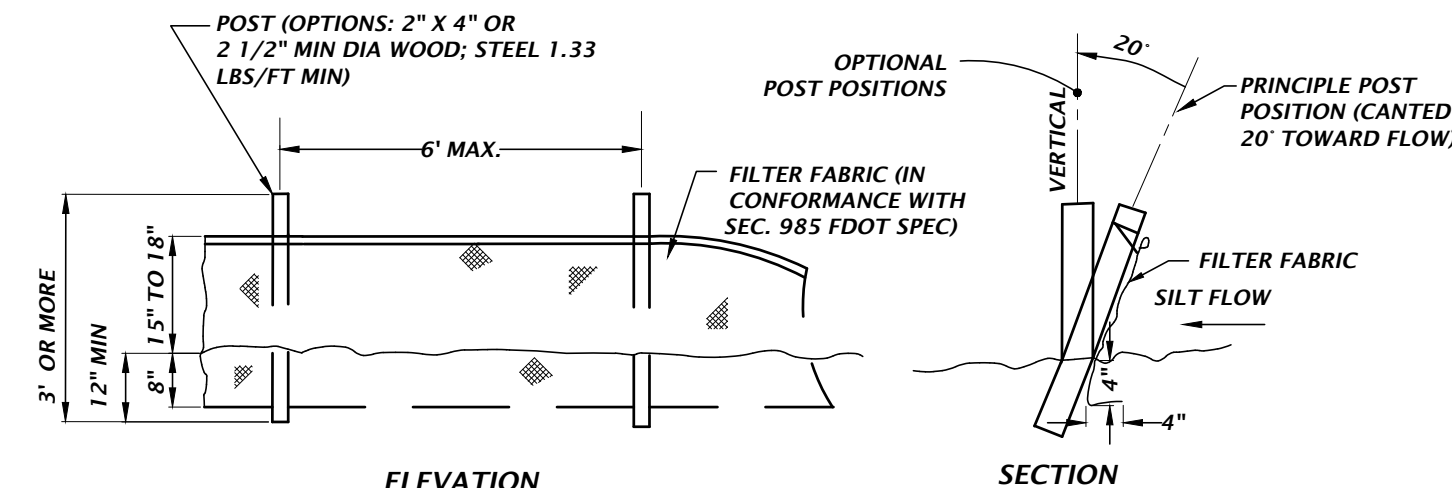
TREE PROTECTION NOTES

- 1) PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS.
- 2) PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES OR STORED MATERIALS.
- 3) NO TRENCHING ALLOWED WITHIN THE PROTECTIVE BARRIER ZONE. HAND DIG TO INSTALL UTILITY IF APPROVED BY CITY MANAGER OR DESIGNEE. WHERE ROOTS GREATER THAN ONE INCH IN DIAMETER ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RECOVERED WITH SOIL WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- 4) PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS LANDSCAPE OPERATIONS BEGIN.
- 5) LANDSCAPE PREPARATION IN THE PROTECTED AREA SHALL BE LIMITED TO SHALLOW DISCING OF THE AREA. DISCING SHALL BE LIMITED TO A DEPTH OF 4 INCHES.
- 6) NO BUILDING MATERIALS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS.
- 7) THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300 PART V: MANAGEMENT OF TREES AND SHRUBS DURING SITE PLANNING, SITE DEVELOPMENT, AND SITE CONSTRUCTION OR OTHER NATIONALLY RECOGNIZED ARBORICULTURAL STANDARDS SHALL BE USED AS GUIDELINES FOR TREE PROTECTION, PLANTING, PRUNING AND CARE DURING DEVELOPMENT AND CONSTRUCTION.



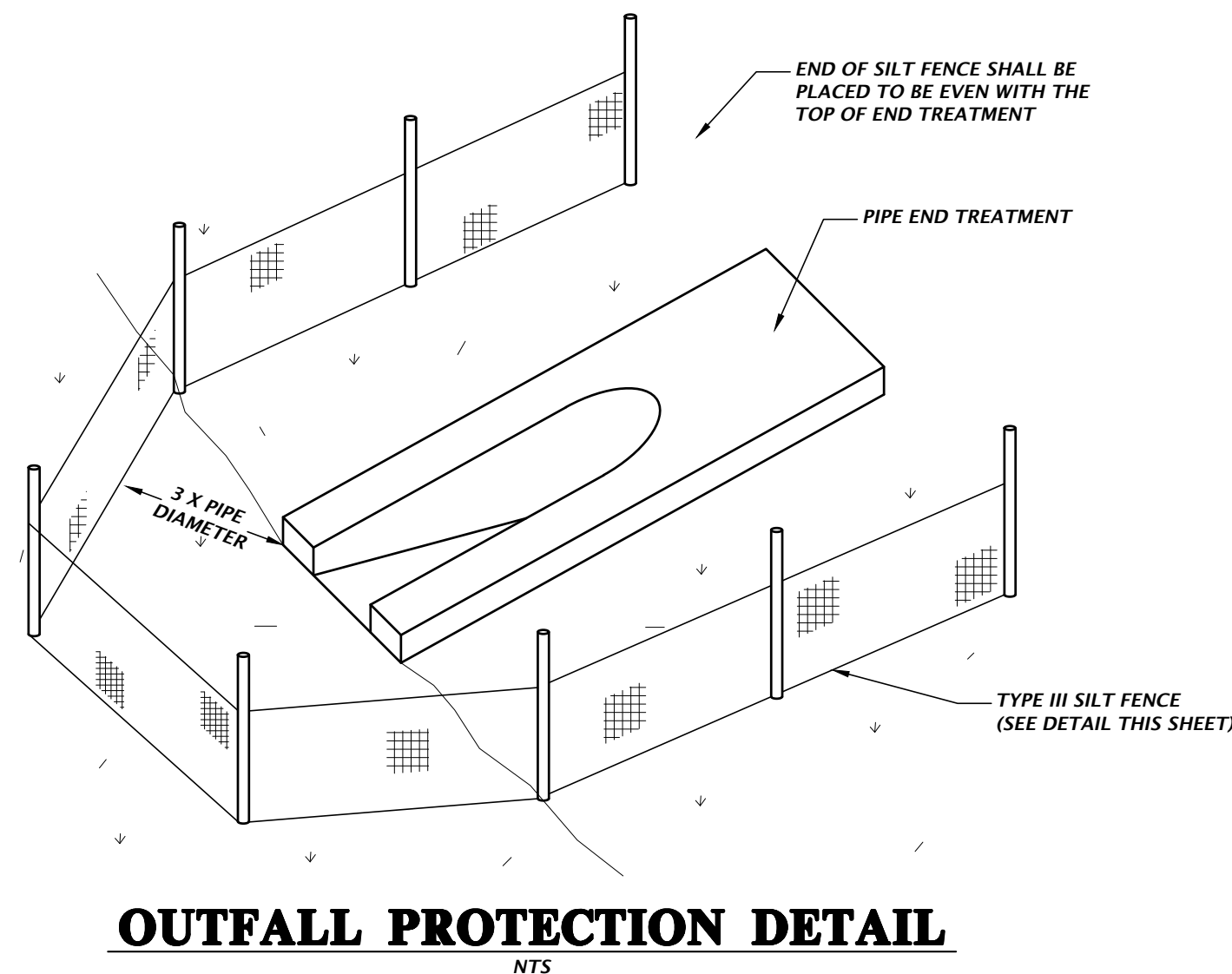
TYPE III SILT FENCE WRAPPING DETAIL

NTS



TYPE III SILT FENCE DETAIL

NTS



OUTFALL PROTECTION DETAIL

NTS

11801 Research Drive
Alachua, Florida 32615
(352) 351-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE
VERIFY SCALE
BAG IS ONE INCH ON
DRAWING, 1" = 1'
IF NOT ONE INCH ON
DRAWING, 1" = 1'
SIZES ACCORDINGLY

CONSTRUCTION NOTATIONS

SUBMITTALS
08-25-23 FDOT ACCESS
09-05-23 FDOT DRAINAGE
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT
CONCEPT DEVELOPMENT, INC.
PROJECT
COMMERCIAL RETAIL STORE
FORT WHITE

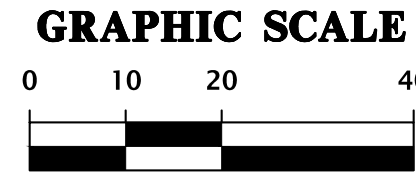
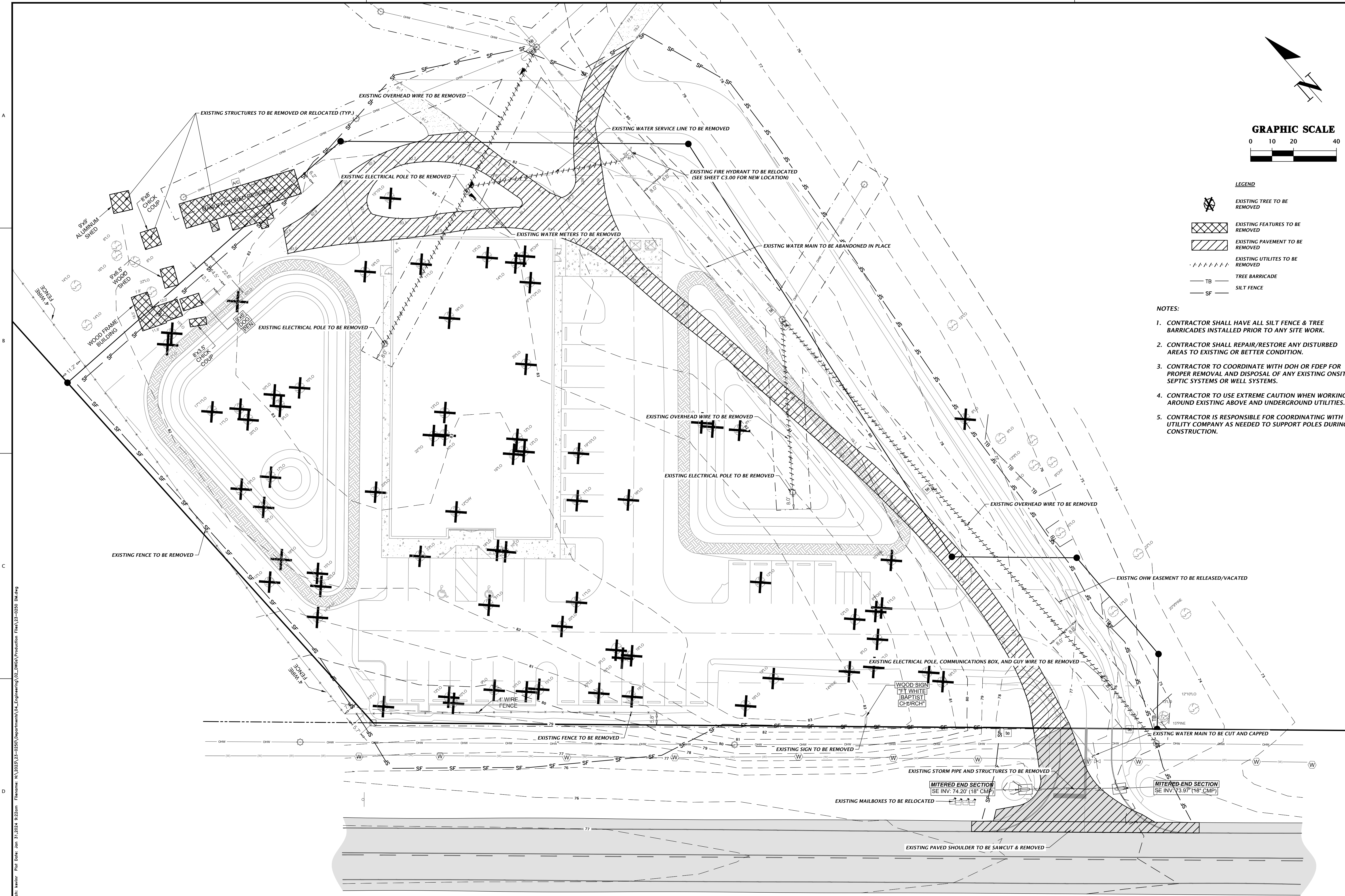
TECHNICIAN
G. WADZINSKI
DESIGNER
N. COWAP, P.E.
QUALITY CONTROL
T. HASTAY, P.E.
PROJECT NUMBER
23-0250

NICOLA R. COWAP

STORMWATER POLLUTION PREVENTION DETAILS

FL PE No. 91233
SHEET NO.
C0.22

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LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING FEATURES TO BE REMOVED
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING UTILITIES TO BE REMOVED
- TB TREE BARRICADE
- SF SILT FENCE

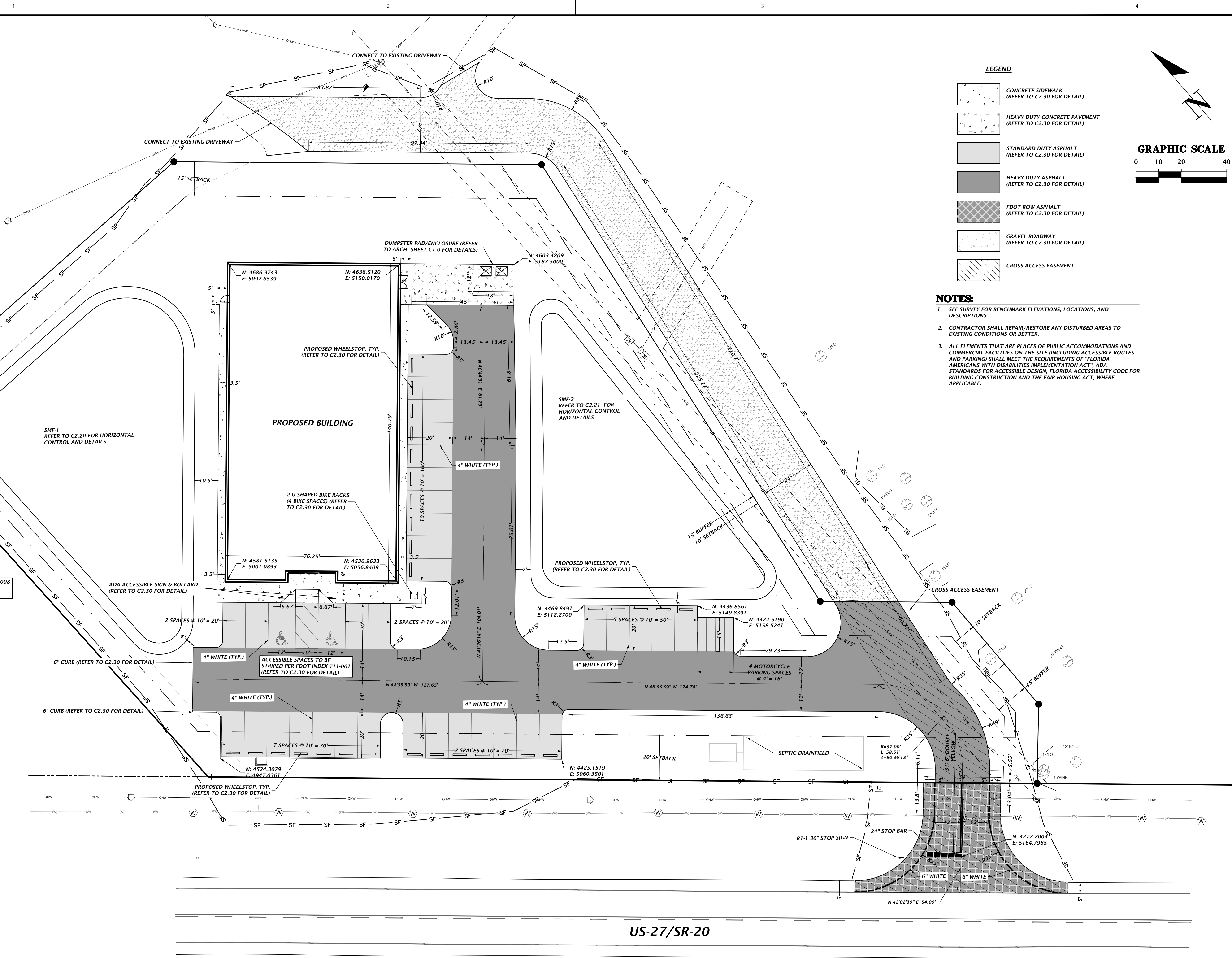
NOTES:

- CONTRACTOR SHALL HAVE ALL SILT FENCE & TREE BARRICADES INSTALLED PRIOR TO ANY SITE WORK.
- CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING OR BETTER CONDITION.
- CONTRACTOR TO COORDINATE WITH DOH OR FDEP FOR PROPER REMOVAL AND DISPOSAL OF ANY EXISTING ONSITE SEPTIC SYSTEMS OR WELL SYSTEMS.
- CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING AROUND EXISTING ABOVE AND UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANY AS NEEDED TO SUPPORT POLES DURING CONSTRUCTION.

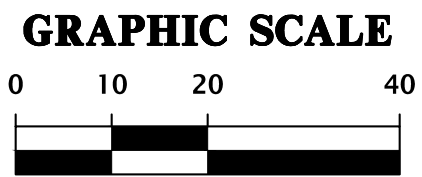
11801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
Professional Consultants	
SCALE 1"=20' VERIFY SCALE BAR IS ONE INCH ON DRAWING IF NOT ONE INCH ON DRAWING, VERIFY SIZES ACCORDINGLY.	CONSTRUCTION NOTATIONS
SUBMITTALS 08-25-23 FDOT ACCESS 09-05-23 FDOT ACCESS 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE 12-14-23 FDOT ACCESS 01-31-24 TOWN OF FORT WHITE	
CLIENT CONCEPT DEVELOPMENT, INC.	PROJECT COMMERCIAL RETAIL STORE FORT WHITE
TECHNICAL G. WADZINSKI DESIGNER N. COWAP, P.E. QUALITY CONTROL T. HASTAY, P.E.	SHEET TITLE DEMOLITION PLAN PROJECT NUMBER 23-0250
FL PE No. 91233 SHEET NO. C0.30	

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A
B
C
D

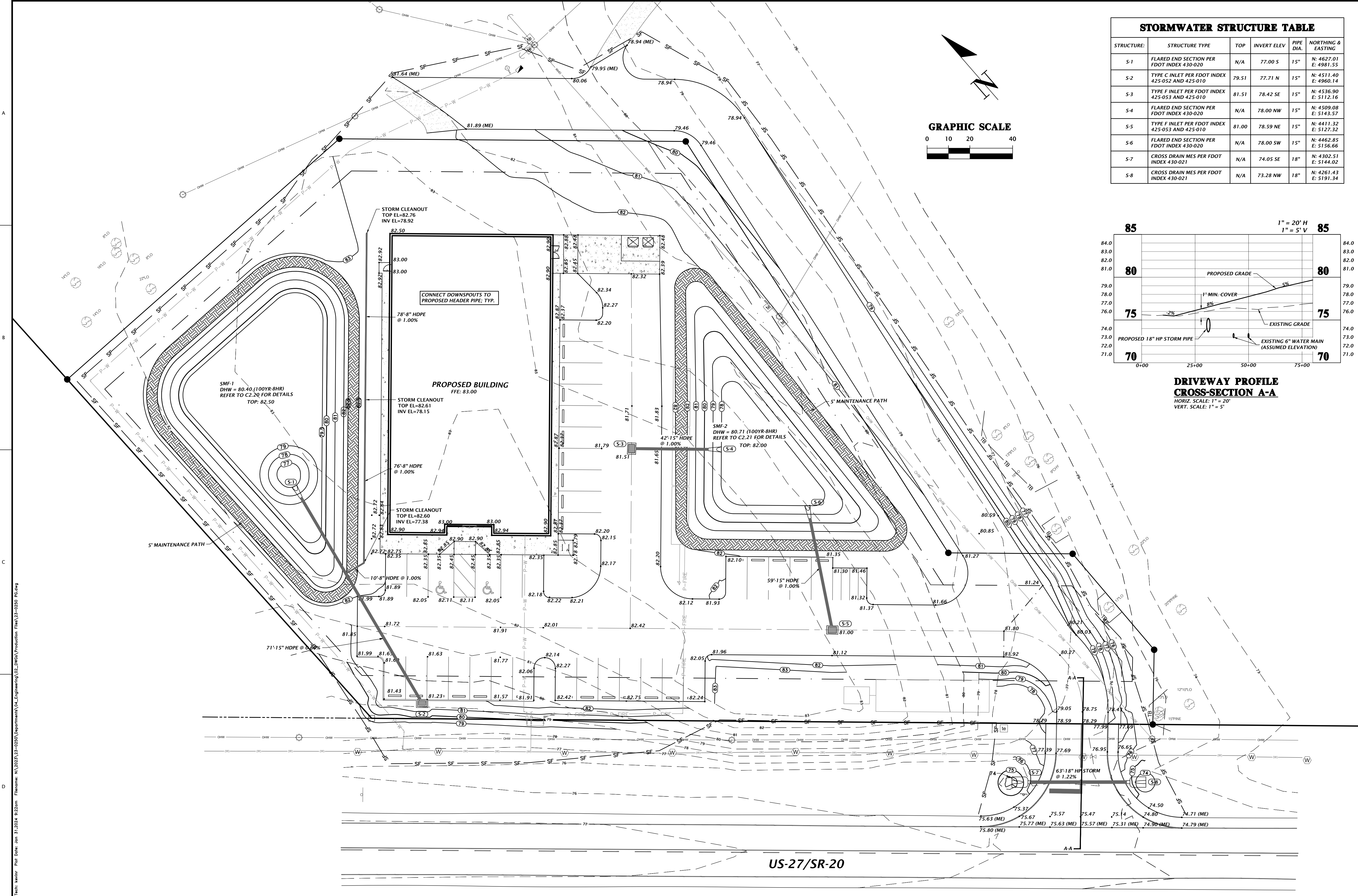


- LEGEND**
- CONCRETE SIDEWALK (REFER TO C2.30 FOR DETAIL)
 - HEAVY DUTY CONCRETE PAVEMENT (REFER TO C2.30 FOR DETAIL)
 - STANDARD DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)
 - HEAVY DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)
 - FDOT ROW ASPHALT (REFER TO C2.30 FOR DETAIL)
 - GRAVEL ROADWAY (REFER TO C2.30 FOR DETAIL)
 - CROSS-ACCESS EASEMENT
- NOTES:**
- SEE SURVEY FOR BENCHMARK ELEVATIONS, LOCATIONS, AND DESCRIPTIONS.
 - CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
 - ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES IMPLEMENTATION ACT", ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE FAIR HOUSING ACT, WHERE APPLICABLE.

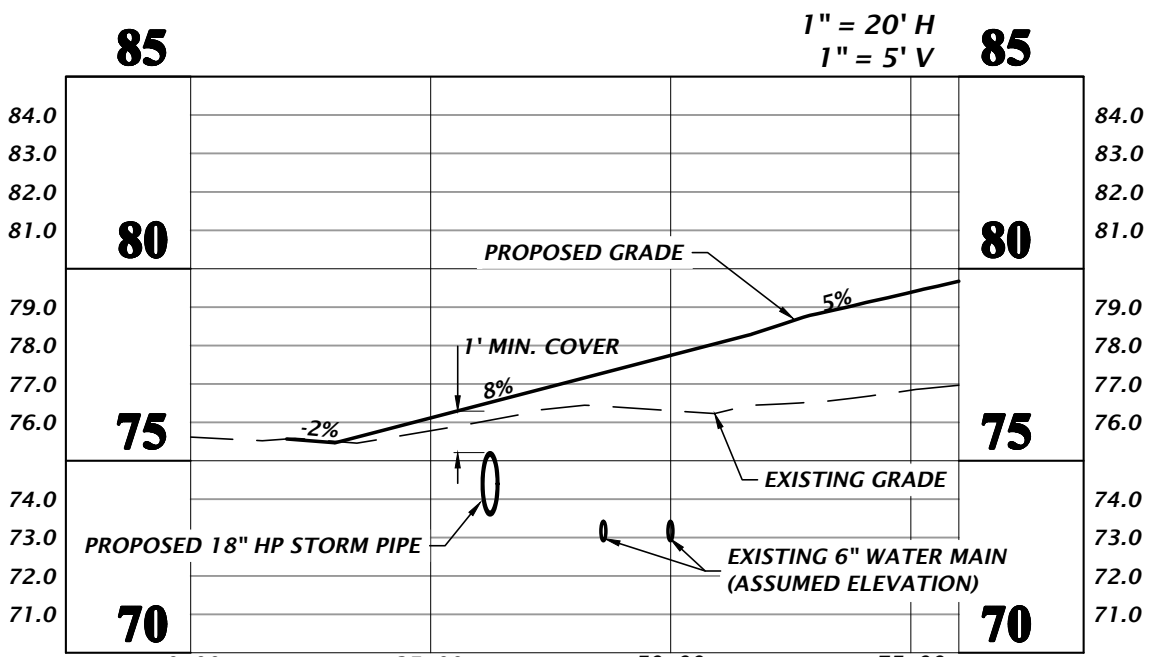


11801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
CHW Professional Consultants	
SCALE 1"=20'	VERIFY SCALE BARS ARE ONE INCH ON DRAWING. SCALE IS 1" IF NOT ONE INCH ON DRAWING. SCALE IS SCALES ACCORDINGLY.
CONSTRUCTION NOTATIONS	
SUBMITTALS 08-25-23 FDOT ACCESS 09-05-23 FDOT ACCESS 09-05-23 FDOT DRAINAGE 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE 12-14-23 FDOT ACCESS 01-31-24 TOWN OF FORT WHITE	
CLIENT CONCEPT DEVELOPMENT, INC.	PROJECT COMMERCIAL RETAIL STORE FORT WHITE
TECHNICIAN G. WADZINSKI	DESIGNER N. COWAP, P.E.
QUALITY CONTROL T. HASTAY, P.E.	PROJECT NUMBER 23-0250
SHEET TITLE HORIZONTAL CONTROL AND SITE PLAN	
FL PE No. 91233 SHEET NO. C1.00	

Test: Netw Plot Date: Jan 31, 2024 9:22am File: N:\2023\23-0250\Drawings\04_Engineering\02_DWG\Production\Plan\23-0250_P0.dwg



STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	FLARED END SECTION PER FDOT INDEX 430-020	N/A	77.00 S	15"	N: 4627.01 E: 4981.55
S-2	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	79.51	77.71 N	15"	N: 4511.40 E: 4960.14
S-3	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.51	78.42 SE	15"	N: 4536.90 E: 5112.16
S-4	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 NW	15"	N: 4509.08 E: 5143.57
S-5	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.00	78.59 NE	15"	N: 4411.32 E: 5127.32
S-6	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 SW	15"	N: 4462.85 E: 5156.66
S-7	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	74.05 SE	18"	N: 4302.51 E: 5144.02
S-8	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	73.28 NW	18"	N: 4261.43 E: 5191.34



DRIVEWAY PROFILE
CROSS-SECTION A-A
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 5'

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1" = 20'
VERIFY SCALE
BASE IS ONE INCH ON
HORIZONTAL SCALE
IF NOT ONE INCH ON
HORIZONTAL SCALE
SCALES ACCORDINGLY

CONSTRUCTION NOTATIONS

SUBMITTALS
08-25-23 FDOT ACCESS
09-05-23 FDOT ACCESS
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

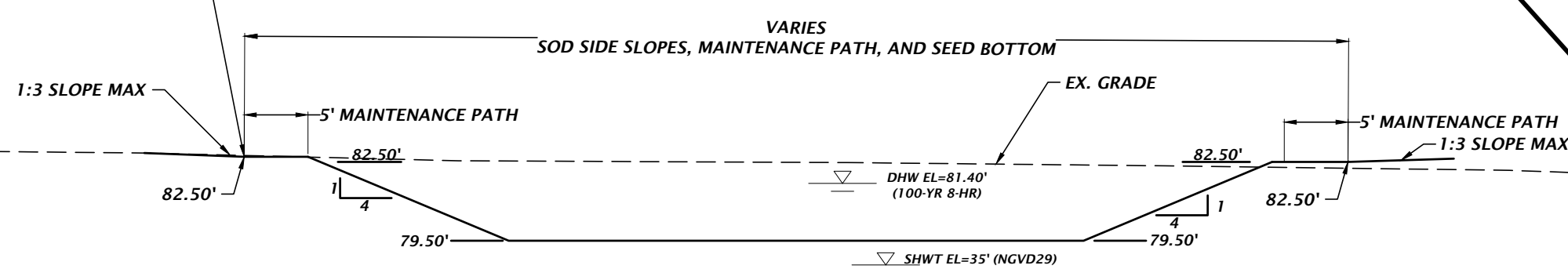
CLIENT
CONCEPT DEVELOPMENT, INC.
PROJECT
COMMERCIAL RETAIL STORE
FORT WHITE
SHEET TITLE
GRADING AND DRAINAGE PLAN

TECHNICAL
G. WADZINSKI
DESIGNER
N. COWAP, P.E.
QUALITY CONTROL
T. HASTAY, P.E.
PROJECT NUMBER
23-0250

FL PE No. 91233
SHEET NO.
C2.00

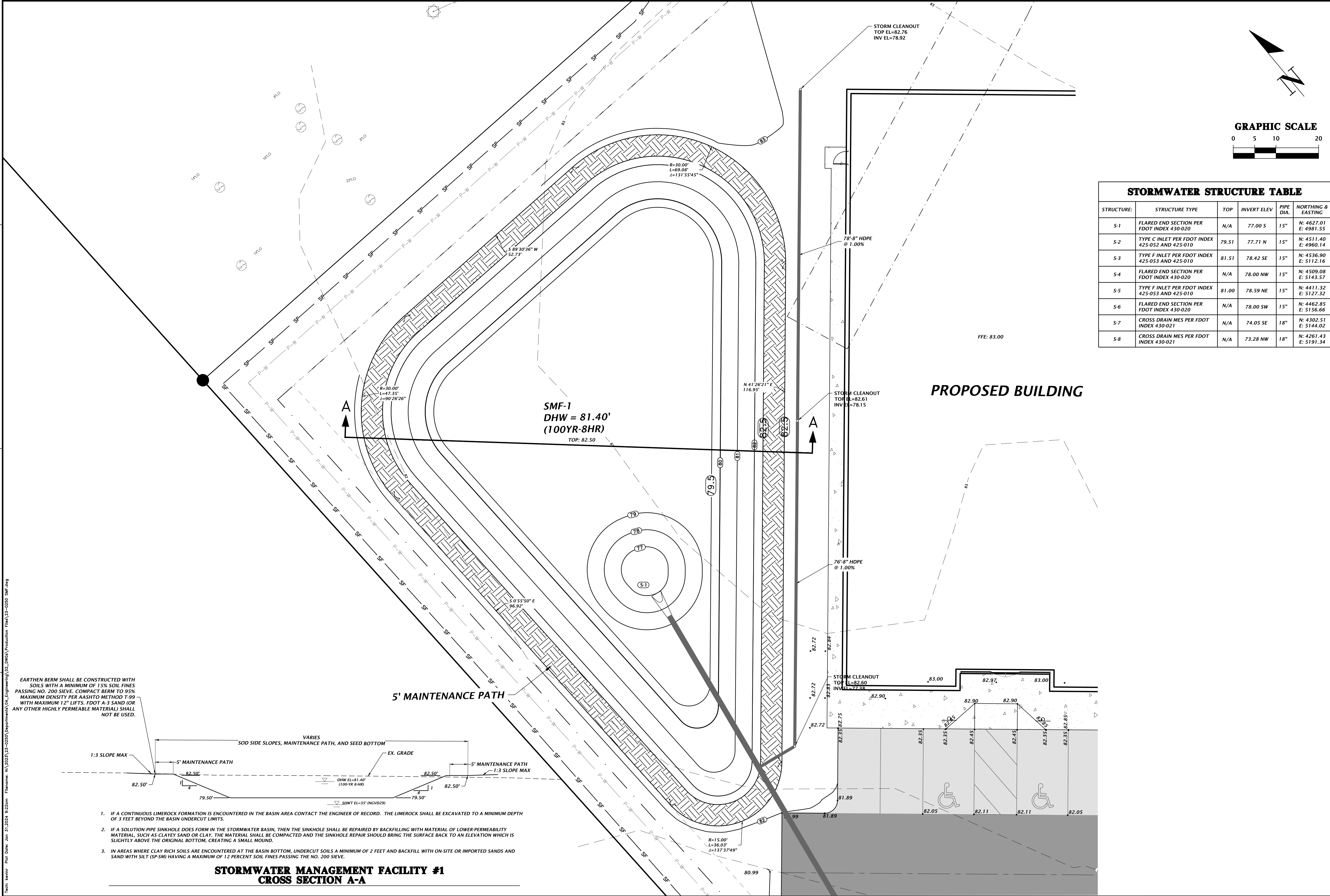
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EARTHEN BERM SHALL BE CONSTRUCTED WITH SOILS WITH A MINIMUM OF 15% SOIL FINES PASSING NO. 200 SIEVE. COMPACT BERM TO 95% MAXIMUM DENSITY PER AASHTO METHOD T-99 WITH MAXIMUM 12" LIFTS. FDOT A-3 SAND (OR ANY OTHER HIGHLY PERMEABLE MATERIAL) SHALL NOT BE USED.



- IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- IN AREAS WHERE CLAY RICH SOILS ARE ENCOUNTERED AT THE BASIN BOTTOM, UNDERCUT SOILS A MINIMUM OF 2 FEET AND BACKFILL WITH ON-SITE OR IMPORTED SANDS AND SAND WITH SILT (SP-SM) HAVING A MAXIMUM OF 12 PERCENT SOIL FINES PASSING THE NO. 200 SIEVE.

STORMWATER MANAGEMENT FACILITY #1 CROSS SECTION A-A



STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	FLARED END SECTION PER FDOT INDEX 430-020	N/A	77.00 S	15"	N: 4627.01 E: 4981.55
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S-7	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	74.05 SE	18"	N: 4302.51 E: 5144.02
S-8	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	73.28 NW	18"	N: 4261.43 E: 5191.34

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SCALE
1"=10'

VERIFY SCALE
BASE IS ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
ORIGINAL DRAWING
SCALE ACCORDINGLY

SUBMITTALS
08-23-23 FDOT ACCESS
09-05-23 FDOT DRAINAGE
11-13-23 TOWN OF FORT WHITE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT
CONCEPT DEVELOPMENT, INC.

PROJECT
COMMERCIAL RETAIL STORE
FORT WHITE

SHEET TITLE
STORMWATER MANAGEMENT
FACILITY PLAN AND DETAILS

TECHNICIAN
G. WADZINSKI

DESIGNER
N. COWAP, P.E.

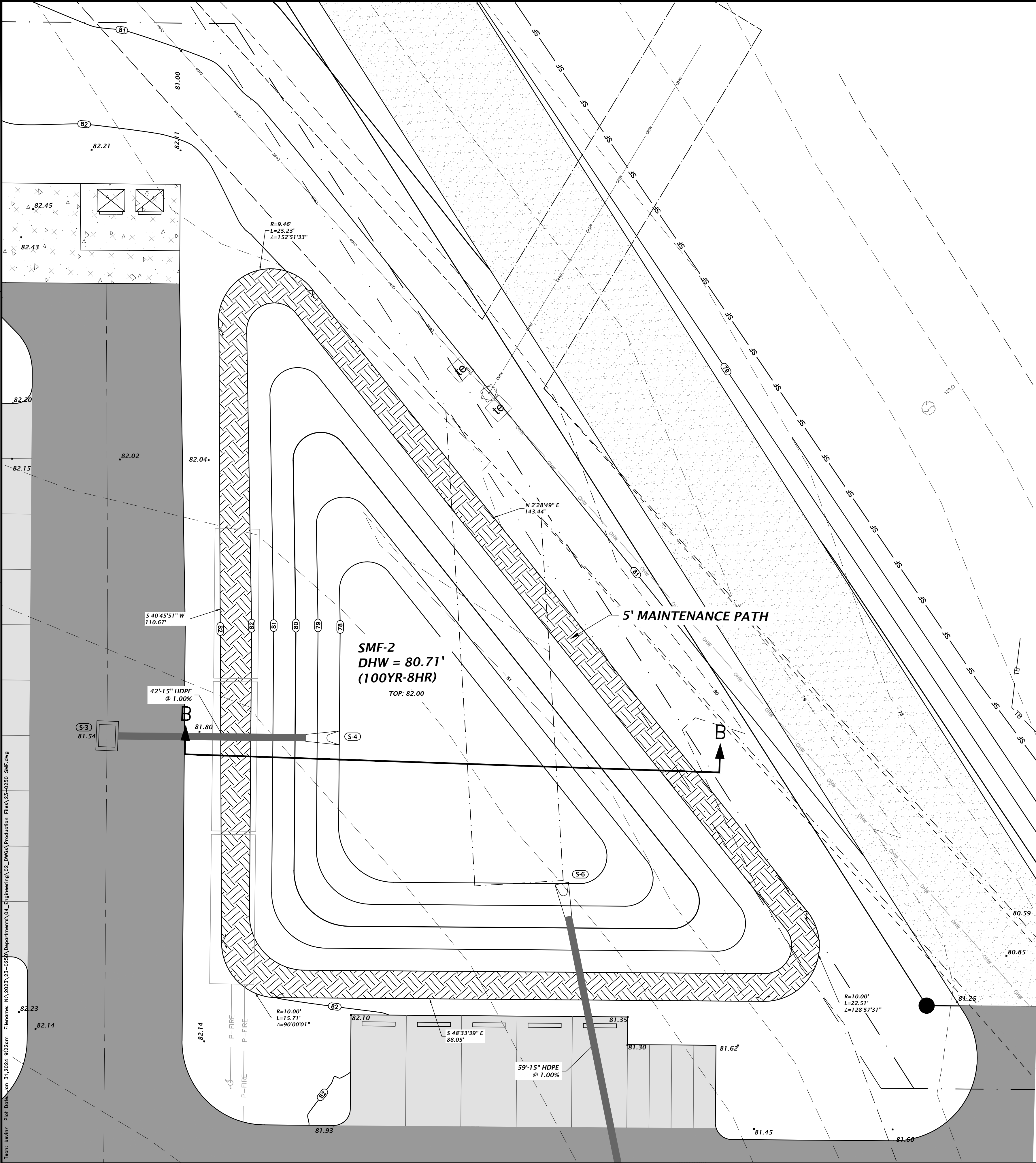
QUALITY CONTROL
T. HASTAY, P.E.

PROJECT NUMBER
23-0250

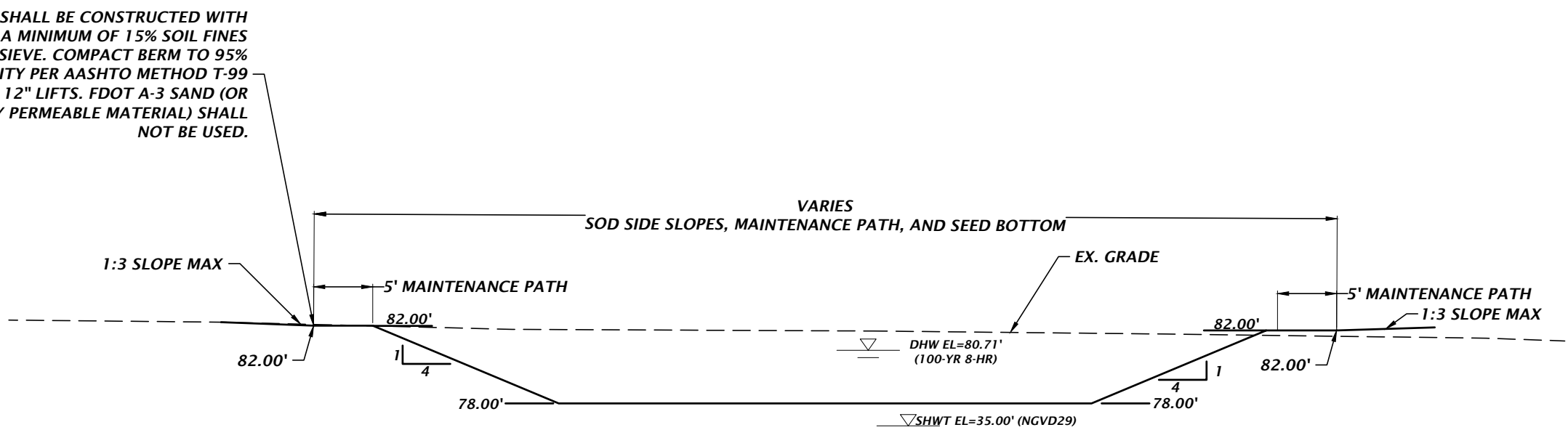
NICOLA R. COWAP

FL PE No. 91233

SHEET NO.
C2.20



STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV.	PIPE DIA.	NORTHING & EASTING
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- IF A CONTINUOUS LIMESTONE FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMESTONE SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
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STORMWATER MANAGEMENT FACILITY #2
CROSS SECTION B-B

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1"=20'

VERIFY SCALE
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HORIZONTAL SCALE
IF NOT ONE INCH ON
HORIZONTAL SCALE
SCALES ACCORDINGLY

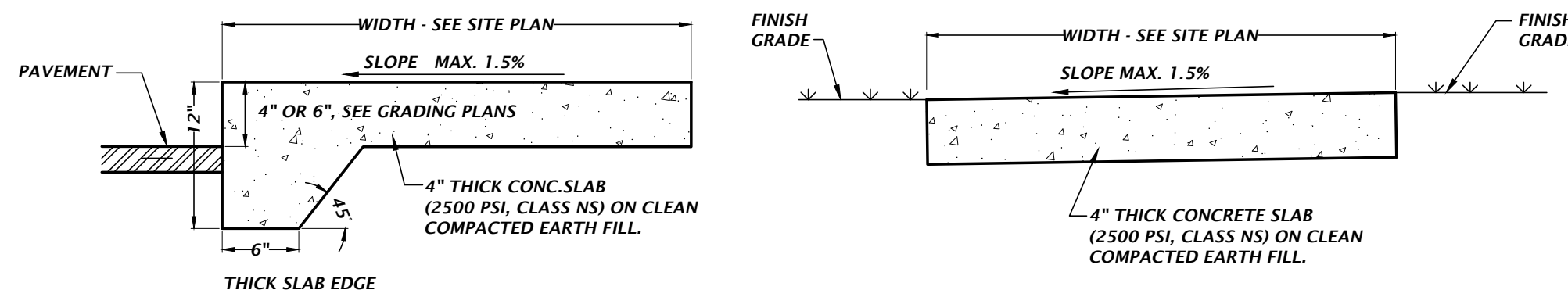
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09-05-23 FDOT ACCESS
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 TOWN OF FORT WHITE, FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CONCEPT DEVELOPMENT, INC.
DESIGNER:
COMMERCIAL RETAIL STORE
FORT WHITE
STORMWATER MANAGEMENT
FACILITY PLAN AND DETAILS

23-0250

FL PE No. 91233

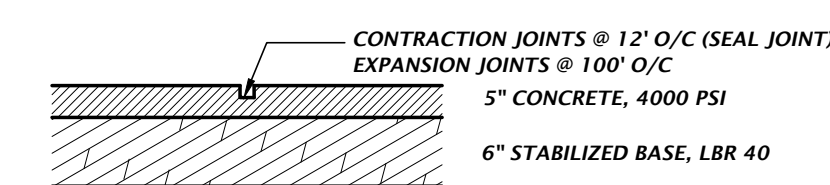
C2.21



- NOTES:
1. SAWCUT CONTROL JOINTS SHALL BE CONSTRUCTED 5 FEET ON CENTER
 2. EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS.

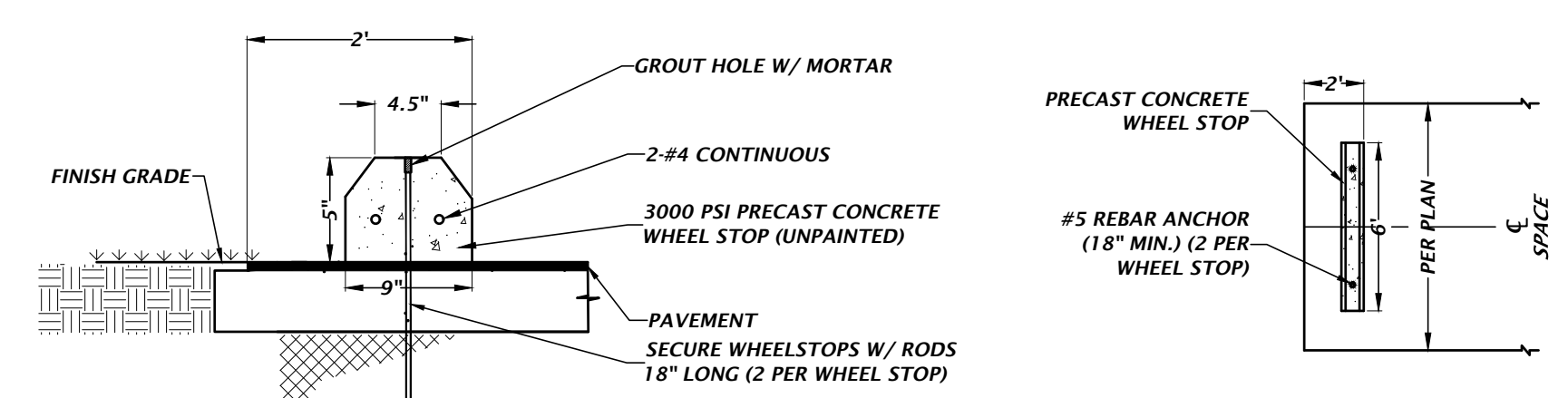
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CONCRETE SIDEWALK DETAILS

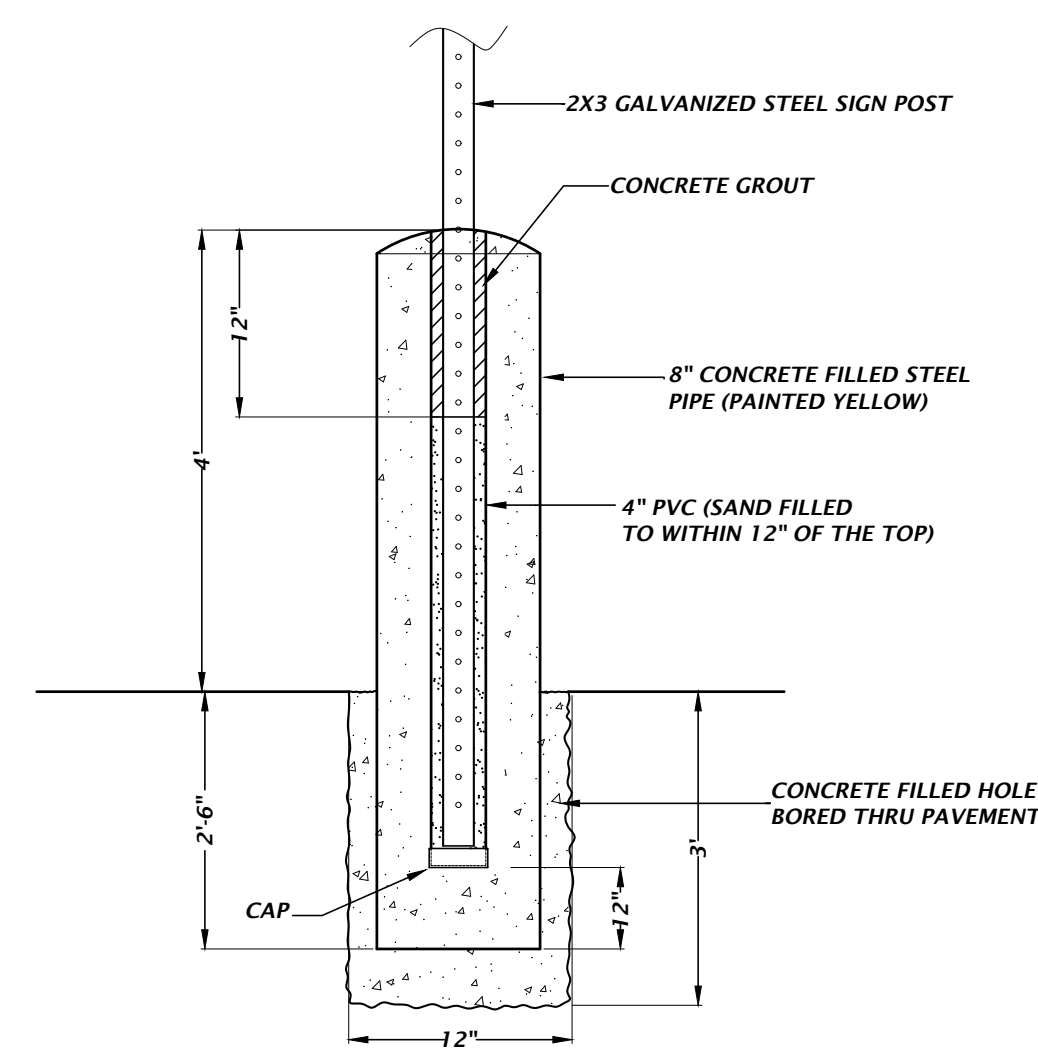


NOTE: CONCRETE PAVEMENT & JOINTS SHALL BE CONSTRUCTED TO FC & PA STANDARDS.

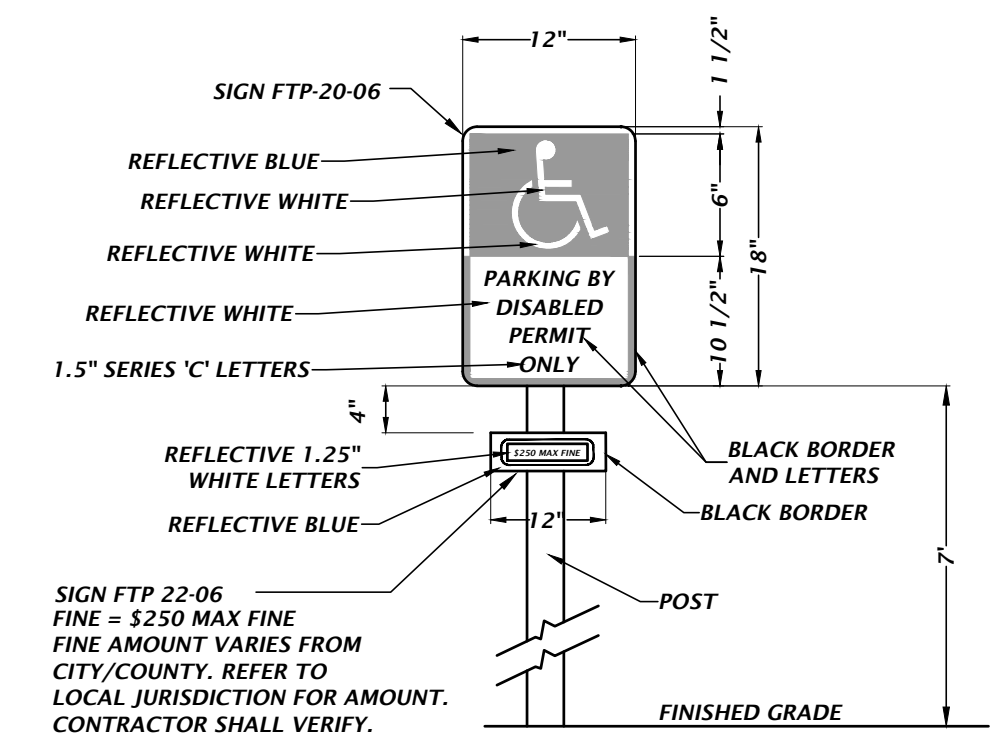
HEAVY DUTY CONCRETE DETAIL



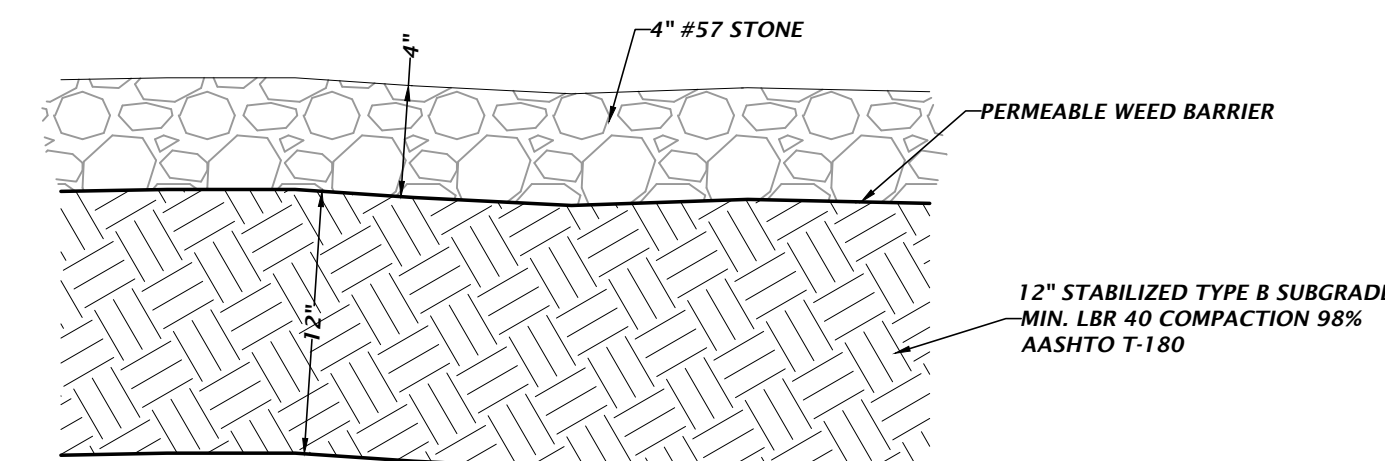
WHEEL STOP DETAIL



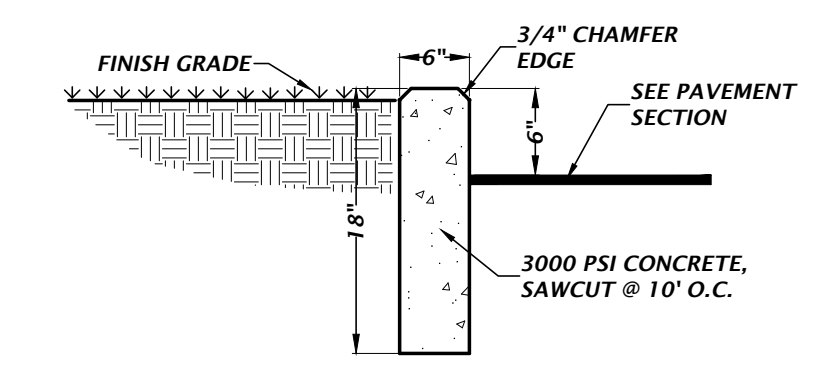
BOLLARD & ACCESSIBLE SIGN DETAIL



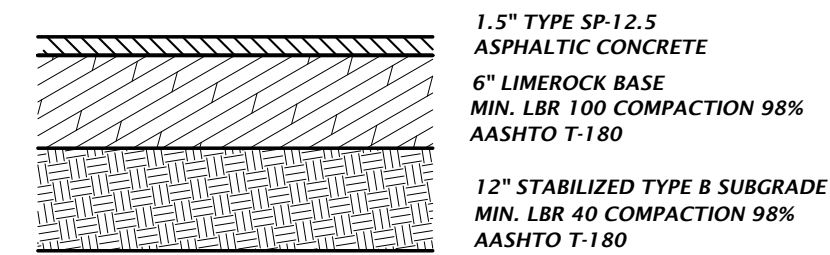
ACCESSIBLE PARKING SIGN DETAIL



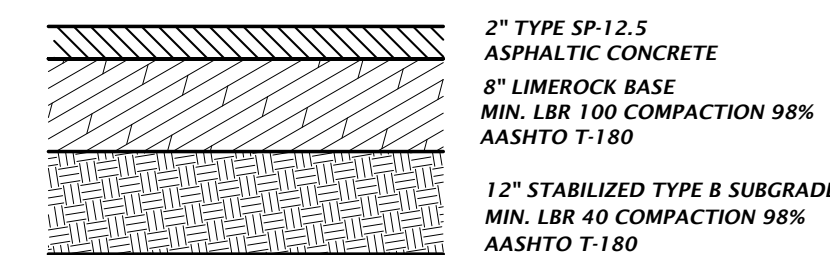
GRAVEL ROADWAY DETAIL



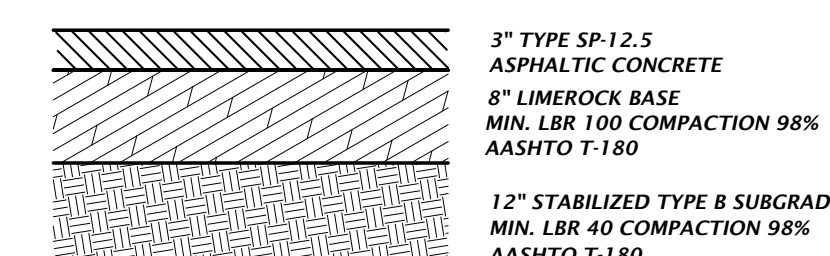
TYPICAL 6" CURB DETAIL



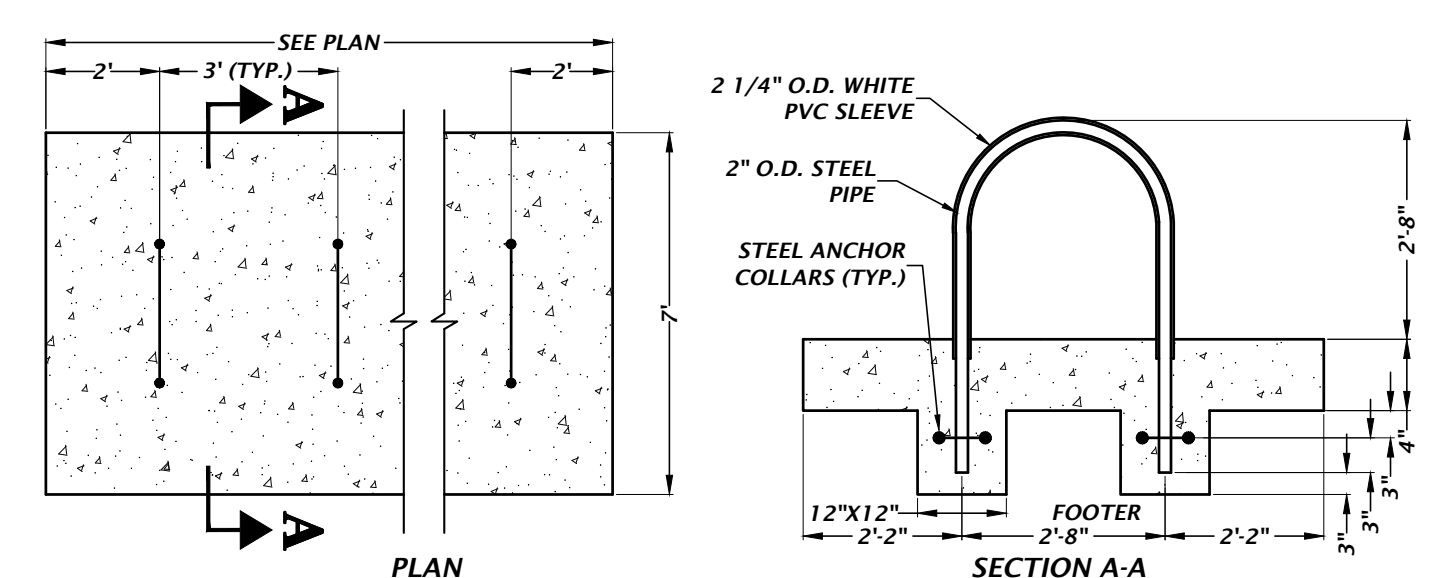
STANDARD DUTY ASPHALT DETAIL



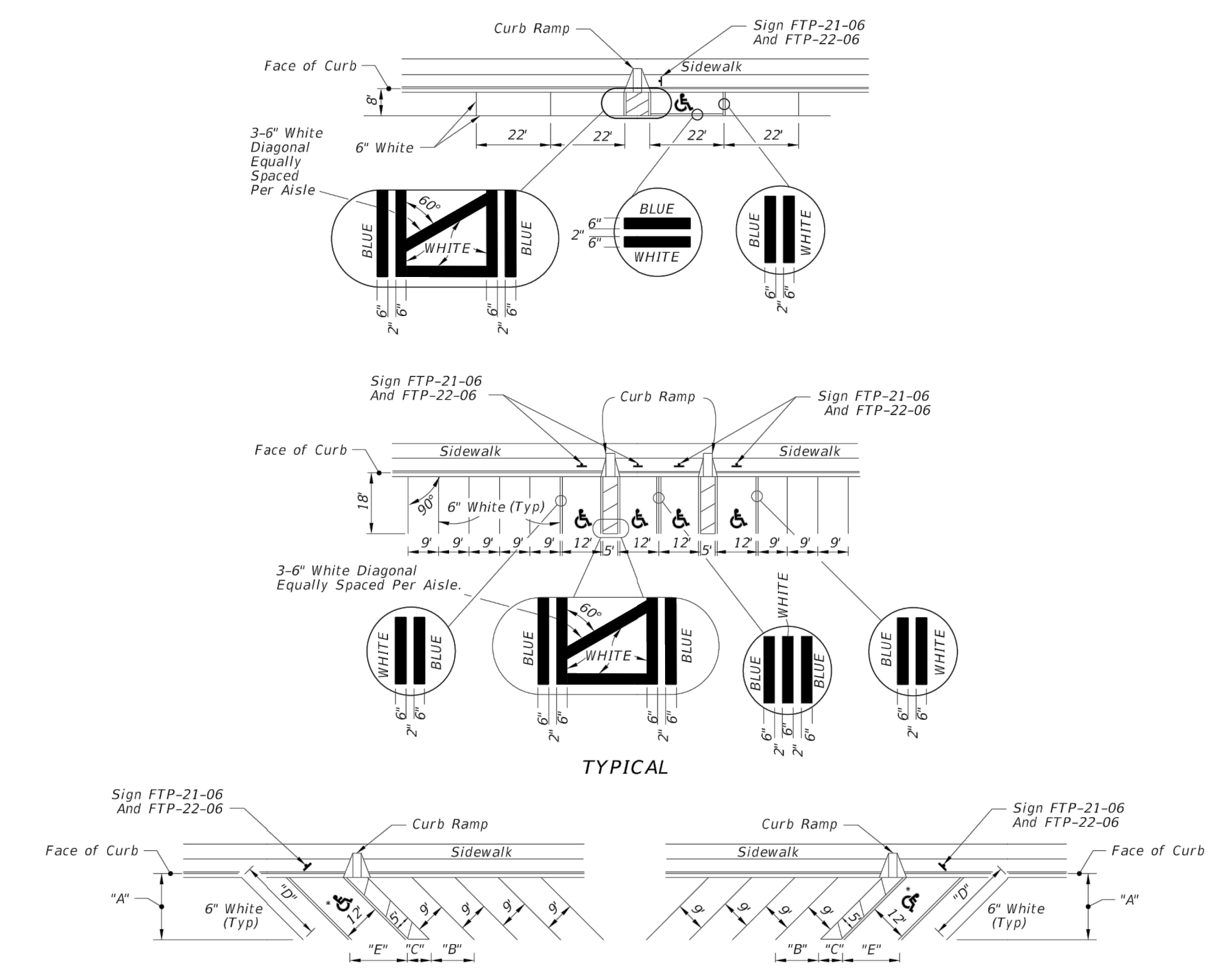
HEAVY DUTY ASPHALT DETAIL



FDOT ROW ASPHALT DETAIL

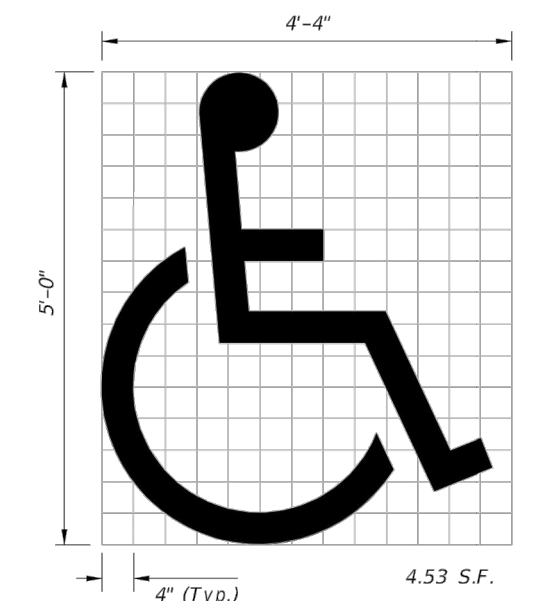
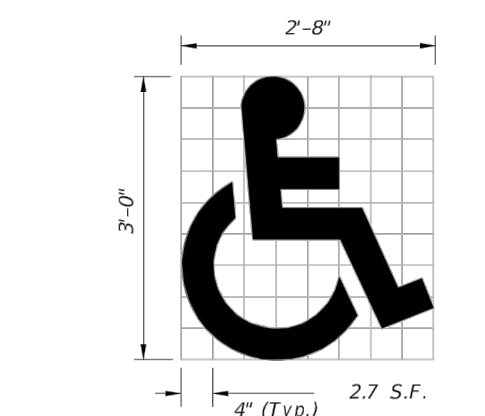


U-SHAPE BIKE RACK



*FOR ACCESSIBLE MARKINGS - SEE ABOVE

DIMENSIONS				
4'-8"	"A"	"B"	"C"	"D"
4'-5"	17'-0"	12'-9"	7'-0"	24'-0"



(See Note 5)

UNIVERSAL SYMBOL OF ACCESSIBILITY

- NOTES:
1. Dimensions are to the centerline of markings.
 2. An Access Aisle is required for each accessible space when angle parking is used.
 3. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
 4. Mount FTP-22-06 sign below the FTP-21-06 sign.
 5. Use of the pavement symbol in accessible parking spaces is optional. When pavement symbol is used, the symbol is either 3'-0" or 5'-0" high and white in color.

LAST REVISION	DESCRIPTION	FY 2023-24 STANDARD PLANS	INDEX	SHEET
11/01/21			711-001	11 of 13

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N/A

VERIFY SCALE
BARS ARE ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
ORIGINAL DRAWING
SCALE ACCORDINGLY

CONSTRUCTION AND REVISIONS

SUBMITTALS

08-23-23 FDOT ACCESS
09-05-23 FDOT ACCESS
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT

CONCEPT DEVELOPMENT, INC.

PROJECT

COMMERCIAL RETAIL STORE
FORT WHITE

DESIGNER

N. COWAP, P.E.

QUALITY CONTROL

T. HASTAY, P.E.

PROJECT NUMBER

23-0250

SHEET TITLE

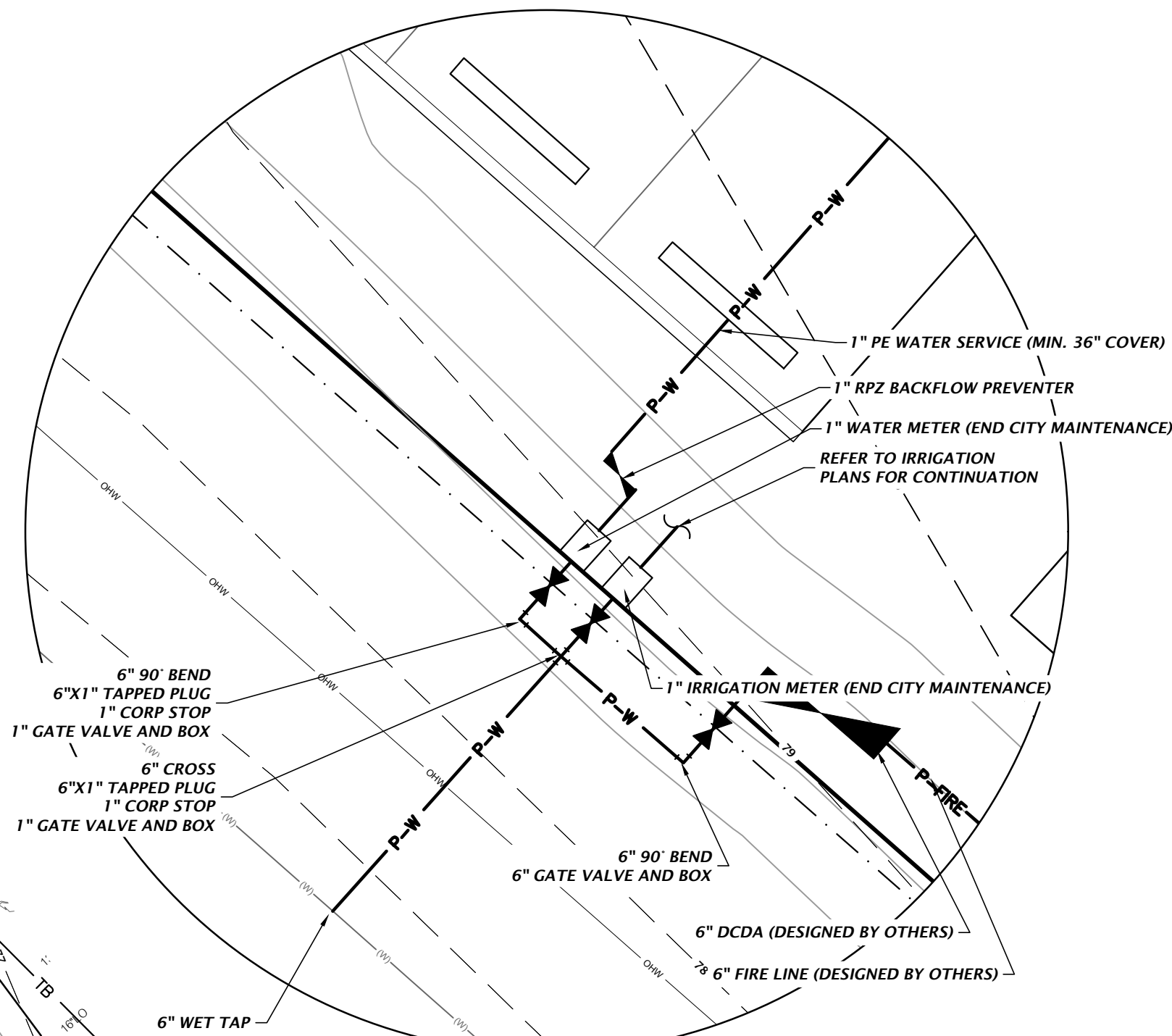
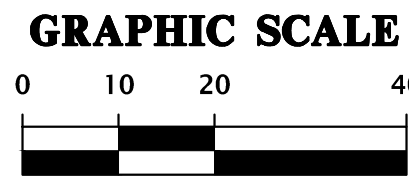
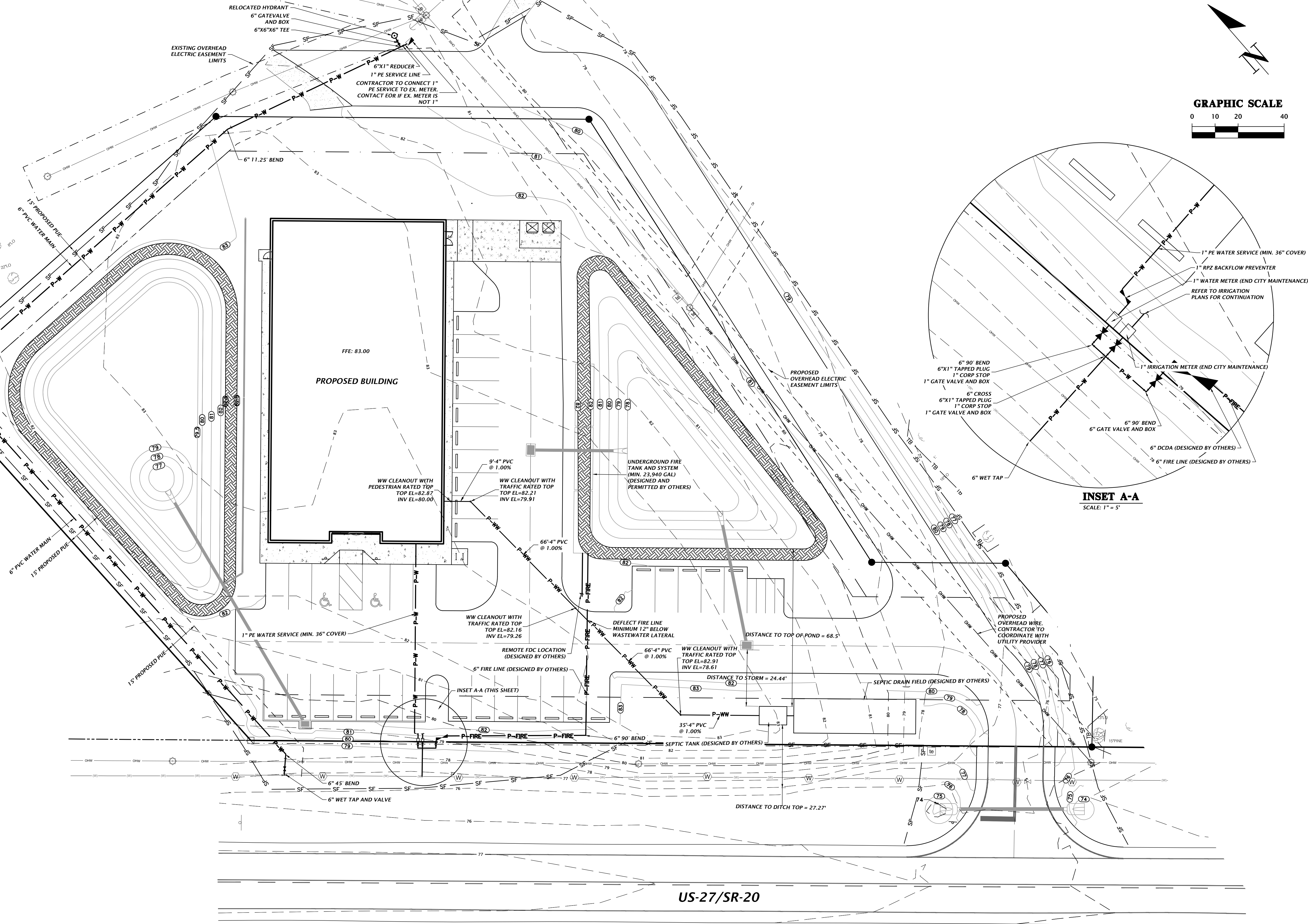
CONSTRUCTION DETAILS

FL PE No. 91233

C2.30

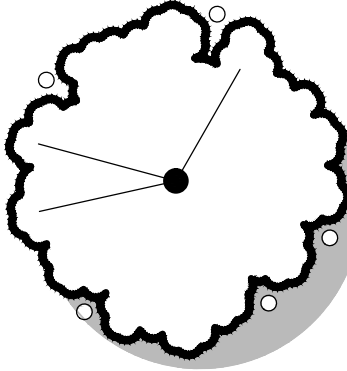
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A
B
C
D

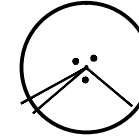


11801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.cdw-inc.com est. 1988 FLORIDA CA-5075	
CHIA Professional Consultants	
SCALE: 1"=20'	VERIFY SCALE BASE IS ONE INCH ON DRAWING IF NOT ONE INCH ON DRAWING, ALL DIMENSIONS SHALL BE ACCORDINGLY
SUBMITTALS 08-25-23 FDOT ACCESS 09-05-23 FDOT DRAINAGE 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE 12-14-23 FDOT ACCESS 01-31-24 TOWN OF FORT WHITE	
CLIENT: CONCEPT DEVELOPMENT, INC.	PROJECT: COMMERCIAL RETAIL STORE FORT WHITE
TECHNICIAN: G. WADZINSKI	DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.	PROJECT NUMBER: 23-0250
SHEET TITLE: UTILITY PLAN	
FL PE No. 91233 SHEET NO. C3.00	

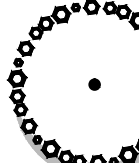
Tree/shrub Identification Key




live oak



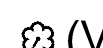
crape myrtle



bald cypress



(VO) viburnum



(VD) viburnum densa

- General Notes
1.

Contractor shall provide proposed soil amendment quantities on bid form to ensure healthy vigorous growth of plant material, lateral movement of irrigation water within soil, & soil nutrient holding capacity.
2.

Any vegetation planted adjacent to a parking stall where it may interfere with a vehicles door opening shall be offset 2' from back of curb. Trim plant material as needed to keep a 6" clearance from back of curb in these areas.
3.

ALL mulched areas adjacent to edge of curb, pavement, shall be composed of a compressed 3" thick layer of mulch. Top of mulch shall be 1/2" below edge of adjacent surface so mulch has a containment edge.
4.

ALL proposed sod areas adjacent to edge of curb/pavement shall be excavated so the sod does not impede water runoff into the pervious areas.
5.

All revisions shall be submitted to Columbia County for review and approval prior to installation.




Trees

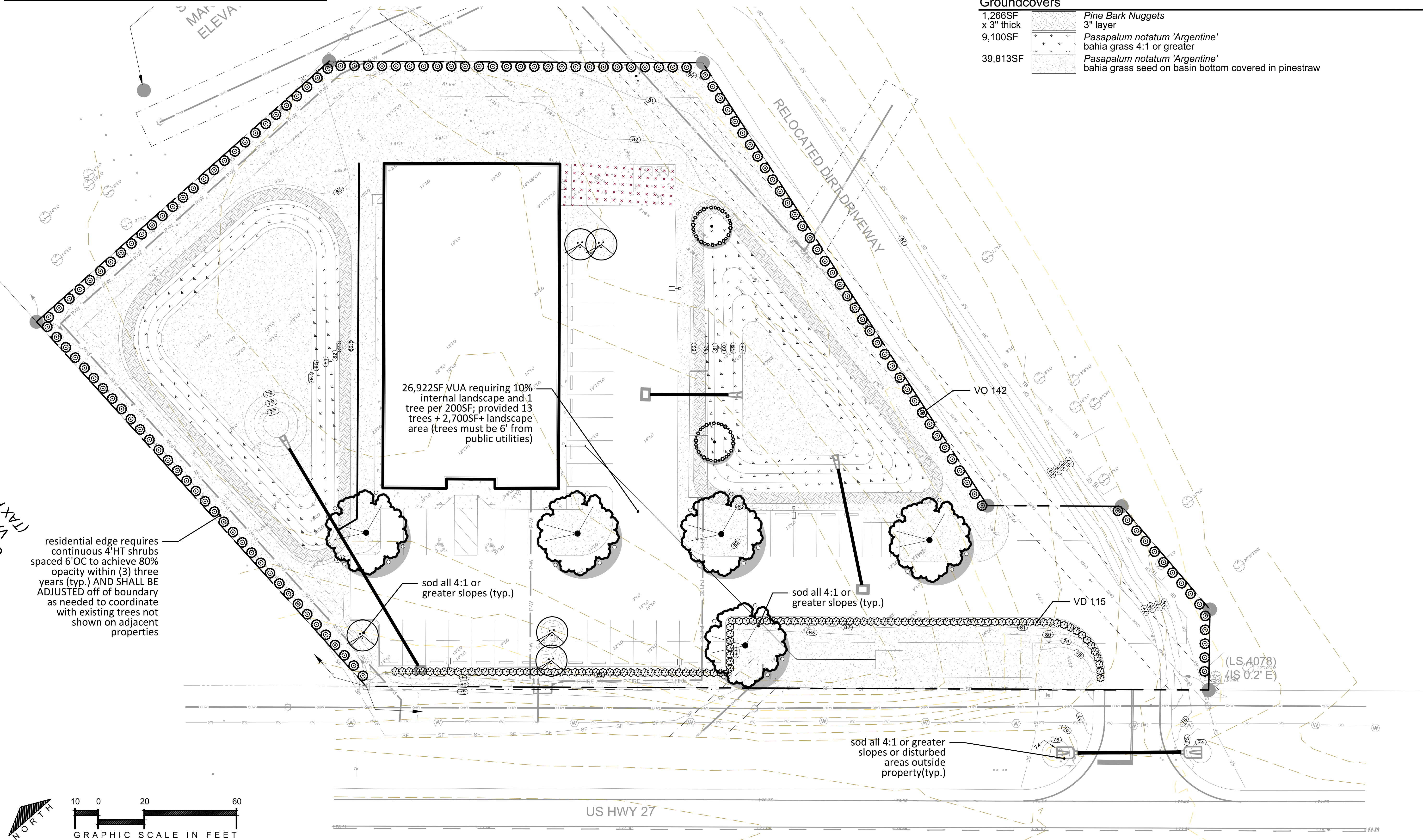
Quantity	Abbr.	Botanical Name /	Size / Caliper	Spacing	Comments
5	see tree id key	<i>Quercus virginiana</i> live oak	4'HT	per plan	
2		<i>Taxodium distichum</i> bald cypress	4'HT	per plan	
6		<i>Lagerstroemia indica</i> 'Natchez' crape myrtle	4'HT	per plan	

Shrubs

142	VO	<i>Viburnum odoratissimum</i> sweet viburnum	4"ht. X 4"spr.	6'o.c.	
115	VD	<i>Viburnum suspensum</i> sandankwa viburnum	18"ht.	3'o.c.	

Groundcovers

1,266SF x 3" thick		<i>Pine Bark Nuggets</i> 3" layer
9,100SF		<i>Paspalum notatum</i> 'Argentine' bahia grass 4:1 or greater
39,813SF		<i>Paspalum notatum</i> 'Argentine' bahia grass seed on basin bottom covered in pinestraw



BORTON DESIGN INC.

1354 N KYLE WAY SAINT JOHN, FLORIDA
CERT. OF AUTH. # LC20030463
(904) 234-6510 BDB@BORTONDESIGN.COM

3D

REVISIONS:

LANDSCAPE PLAN

COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO. 23310

DRAWN BY: BDB

DESIGNED BY: BDB

CHECKED BY: BDB

DATE: 1/30/2024

PLANS PREPARED BY

BRYAN DAVID BORTON FL.
NO. LA667028

LS-01

Legend		
	sleeve ^{1,2}	¹ sleeves - Unless specified on plans all sleeves shall be 2". When plans show lateral in pipe, install pipe in sleeve and cap both ends 12" beyond end of sleeve.
	lateral:	² irrigation lateral lines and sleeving may be diagrammatic in nature and are intended to be installed in suitable locations within property boundaries.
	blank poly tubing	
	controller	
	rain sensor	
	control valves	
	1/2" drip shut-off valve	
	zone # and flow rate in gallons per minute	
	irrigation drip break	
	POC lateral/drip point of connection	

- Irrigation Notes
1. Dripline. Drip shall be installed on top of soil and covered with mulch.
 2. Control Valves & Regulators. Control valves shall be installed and set 5% over proposed flow.
 3. Pipe. 1/2" pipe shall be Class 315 PVC. Piping larger than 1/2" shall use Class 200 PVC.
 4. Irrigation materials not identified on irrigation schedule or in specifications as to brand and model # shall be either Rainbird, Nelson, or Hunter and sized appropriately by contractor to meet requirements by the manufacturer. Contractor shall include all materials including quantity, model, size, and installed price for each item on bid form.
 5. All irrigation revisions shall be submitted to Columbia County for review and approval prior to installation.
 6. No irrigation to be provided at sod. Contractor shall irrigate with a water truck as needed for the first two weeks.
 7. Pipe shall not be installed within 50% of any existing tree dripline UNLESS piping is installed via a trenchless installation method.

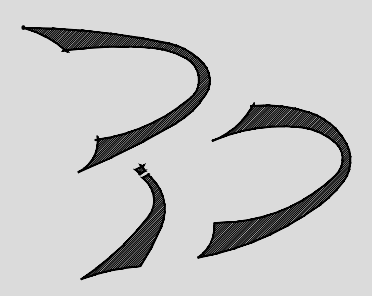
Watering Schedule for Zone 1 & 2

Water all plants listed once per day for (120) one hundred and twenty minutes during the first (30) thirty days and every other day for the next (30) thirty days; thereafter, follow water restrictions per jurisdiction until established. Shrub drip valves may be shut-off after (3) three months. After (1) one year trees should be sufficiently rooted into existing soil for shutdown; however, it is recommended that a review be performed by a certified arborist before shutting off the system. After establishment irrigation should be turned on IF a drought occurs. Bahia grass shall be temporarily watered via hand moved sprinklers for two weeks if rainfall is not occurring as needed.

Number of emitters per tree/shrub		
live oak	1-2gph	emitters
bald cypress	1-2gph	emitters
crape myrtle	1-2gph	emitters
sandankwa vib.	1-.5gph	emitter
sweet vib.	1-2gph	emitter

Irrigation Schedule	
Quantity	Description
0'	Rainbird XFD blank tubing
1	Rainbird ESP-RZX Series Controller
1	Rainbird WR2 - RC sensor
0	Rainbird 100-DV
0	Rainbird PSI-M50X-100
0	Rainbird QKCHK100 drip filters
0	Netafim 01WPCJL1.2 drip emitter .32GPH
0	Rainbird XB-05PC drip emitter .5GPH
0	Rainbird XB-10PC drip emitter 1GPH
0	Rainbird XB-20PC drip emitter 2GPH
0	Rainbird PC-05 drip emitter 5GPH
TBD	Rainbird BVAL50-1S139 drip valve
TBD	1/2" Perma-Loc EndCap w/ Flush Valve
TBD	Rain Bird PVB6RND 6 in. round valve box
TBD	9" 9-gauge galvanized ground staples

BORTON DESIGN INC.
1354 N KYLE WAY SAINT JOHNS, FLORIDA
CERT. OF AUTH. # LC20000463
(904) 234-6510 BDB@BORTONDESIGN.COM



REVISIONS:

IRRIGATION PLAN

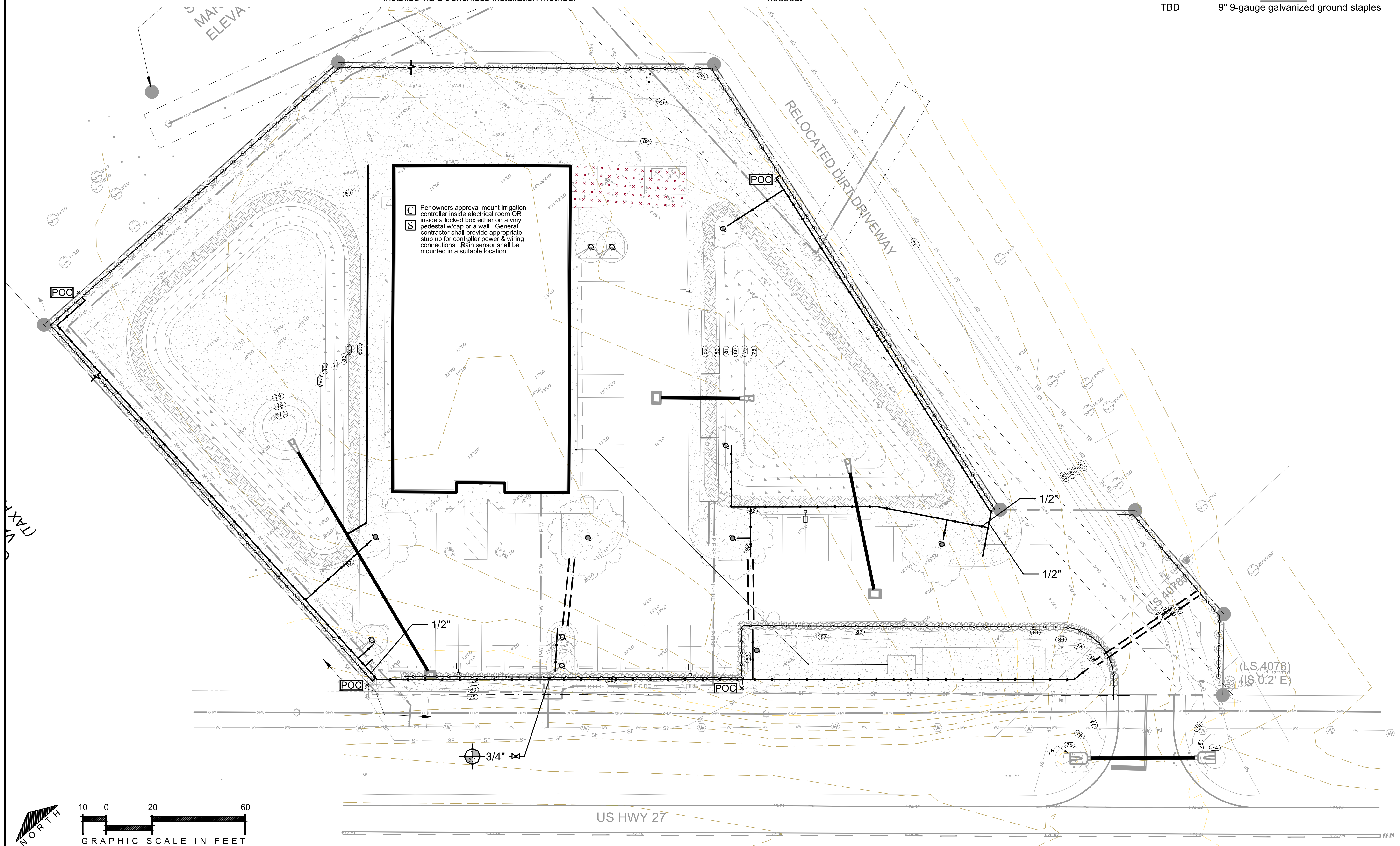
COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO. 23310
DRAWN BY: BDB
DESIGNED BY: BDB
CHECKED BY: BDB
DATE: 1/30/2024

PLANS PREPARED BY

BRYAN DAVID BORTON FL
NO. LA667028

LS-02



LANDSCAPE PART 1 GENERAL NOTES

Scope. This section includes all planting of shrubs, trees, ground covers, and other landscape supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference: Grades and Standards for Nursery Plants, Parts I and II, State Department of Agriculture and/or State Plant Board of Florida, Seagle Building, Gainesville, Florida. State of Florida Fertilizer Law, Office of the Secretary of State, Tallahassee, Florida. American Standard for Nursery Stock (ANSIZ60.1-), American Association of Nurserymen. Standards for Tree Care Operations (ANSI A300) Guideline Specifications to Sodding, America Sod Producers Association (ASPA) Plant Quantities. All plant quantities shown in the plans are approximate based on the plan locations. The Contractor shall be fully responsible for determining all final plant quantities and shall submit a revised plant schedule with final plant quantities as part of the contract and prior to construction.

Substitutions of Plant Material. If a plant is found to be unavailable, submit proof of non-availability and a proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. No substitutions will otherwise be authorized. To prove non-availability, The Contractor must provide at least eight (8) letters from growers or dealers from the States of Florida and Georgia explaining the non-Availability of the plant material. On-Site Conditions and Adjustments. The locations of plants, as shown on the plans, are fairly accurate. Planting shall be adjusted only when necessary to accommodate actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect. The Contractor shall immediately notify the Owner's Representative when conditions detrimental to plant growth are encountered, such as rubble fill, lime rock, or obstructions; and when field conditions are different than portrayed on the plans prior to planting. The owner or Owner's Representative may adjust the layout or location of specified plant materials to avoid these areas without additional costs.

Coordination of Plantings. Coordinate all landscape work with the Owner's Representative and other contractors. Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise directed by the Owner's Representative.

Fine Grading. Provide fine grading necessary to establish finish grade in all landscape areas. Fine grading shall include only minor grading to correct random or infrequent grade irregularities of 12" or less, unless otherwise noted on plans.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance. He shall, without extra cost, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Tree Tagging. A tree tagging trip may be requested by Owner's Representative prior to approval of plant material. Contractor shall be responsible for providing transportation and accommodations if necessary.

Inferior Materials. Contractor shall reject inferior materials. The Owner's Representative reserves the right to reject any or all materials not meeting the criteria specified herein or determined to be damaged or unhealthy.

Onsite Debris. Contractor shall be responsible for removing and disposing of offsite all stones over 1" in diameter, sticks, roots, and other extraneous matter in planted areas to a depth of 2'. If debris is excessive and results from construction waste please contact Owner's Representative for appropriate actions.

LANDSCAPE PART 2 SUBMITTALS

Soil Testing for Plant Material. The Contractor shall be responsible for testing soils in planted areas to confirm that soil is suitable for healthy plant growth and shall submit a report to the Owner's Representative prior to construction showing test data and any conflicts determined by the contractor.

Seed Certification. All seed must comply with regulatory agencies for fertilizer and herbicide composition.

Inspection Certificates, Manufacturer's Data. Upon request of Representative copies of inspection certificates or manufacturer's data shall be provided for any material used onsite or for existing materials found onsite.

LANDSCAPE PART 3 MATERIALS

General Plant Material Requirements. Provide state inspected, nursery grown plants, and according to the plant schedule unless otherwise specified. Conform to the, "Florida Department of Agriculture Grades and Standards For Nursery Plants", local landscape ordinance, and, where applicable, to ANSI Z60.1 All plant materials shall be Nursery grown, Florida No. 1 stock. All materials shall be healthy, vigorous, free of diseases and insects, pruned for best shape without appearance of "de-horning", and without symptoms of nutritional deficiency. Furnish plants grown under climatic conditions must measure according to sizing required detailed on the drawings. Plants must be naturally bushy, dense, in good foliage, and of good appearance. The nursery/nurseries from which plants are derived shall be under regulatory inspection by the Florida State Department of Agriculture and/or the Florida State Plant Board, or an equivalent agency if derived from outside the State of Florida. Plants entering from outside the State of Florida must bear the entry certificate of the State Department of Agriculture of the State of Florida. All plant materials will be subject to approval of the Owners or Owner's Representative for quality, size and color.

Soil Additives. Contractor shall be responsible for adding peat, humus, fertilizer, manure, pH adjusters or any other commercially accepted soil additive to ensure normal, healthy plant growth or as noted on the plans.

Balled and Bur lapped Trees. Ensure that field grown material follows local industry standards for root pruning, digging, baling and bur lapping, etc. All balled and bur lapped materials must be hardened off before shipment. All materials are subject to approval by the Owner's Representative prior to shipping to project site. The top 5 inches of natural burlap shall be removed and completely remove any synthetic burlap wrapping or wire cages before installation.

Spaded Trees. Trees shall have been spaded from a commercial nursery field that has been inspected by the Department of Agriculture and Consumer Services within the last 9 months. The Contractor shall provide a copy of the most recent Nursery, Stock dealer and Special Inspection Report for verification upon Owner's Representative request. Ball size shall be at least one size greater than recommended by ANSI Z60.1, American Standard for Nursery Stock, unless otherwise specified. Spaded material is subject to approval and tagging by the Owner's Representative prior to shipping to project site.

Container Plants. Provide container-grown plants with sufficient roots to hold the container soil together after removal from the container. Root bound plants and plants with inadequate root systems are not acceptable.

Surface Mulch. Use mulch type specified in plans. Mulch shall be in a non-decomposed state; not more than one (1) season old.

Herbicides, Insecticides. Chemical sprays, dusts, or gaseous compounds used on or around plant materials, including but not limited to trees, shall be approved for such uses by the Environmental Protection Agency and the Florida Department of Agriculture, and Consumer Services. Such materials as may be used shall not constitute a hazard to human health or interfere with site working conditions and habitation.

Seed Requirements General. Where seeding may be required on the plans, the seed required shall comply with all minimum provisions of the Florida Seed Certification and Testing Law. Noxious weed seeds shall be non-existent and foreign materials shall not exceed two percent.

Sod Requirements General. See plan for specified sod. All sod shall be healthy, strongly rooted and not less than two (2) years old, free of weeds and undesirable native grasses in 16" x 24" pads, 1-1/2" thick. Sod shall conform to "Nursery Grown" grade as established by American Sod Producers Association (ASPA). Sod shall be considered free of weeds if less than 5 weeds are found per 100 square feet of area. Brown, dry irregularly smooth, and/or unrefresh sod will be rejected.

LANDSCAPE PART 4 PLANTING PROCEDURES

General. Prior to commencement of any work, the Landscape Contractor shall inspect the site, locate planting areas, placement of guying devices, locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative. All planting practices listed herein shall ensure healthy plant growth.

Layout. The location of plants, planting beds and plant quantities, are approximate. The locations and bed lines shall be staked on the project site by the Contractor and approved by the Owner's Representative before any plant pits or beds are dug. The Owner's Representative may adjust plant material locations to meet field conditions. Contractor shall make minor adjustment without additional cost to the Owner.

Finish Grades. The Landscape Contractor is responsible for all fine grading and preparation for planting. Finish grades (top of soil) for all sod areas after settlement shall be one-half inch below the top of abutting curbs, walks, walls and abutments. The finish grade of all plant beds prior to mulching shall be three inches below finish grade of sod, abutting curbs, walks and walls. Three inches of mulch shall be added to all plant beds after planting.

Planting Seasons/Times. The planting of plant materials and lawns may proceed at any time, period, or season agreed upon by the Contractor and Owner or Owner's Representative. Plant Installation. All plants existing rooball top shall be 0-1" above finished grade. Area surrounding tree shall excavated/loosened to 3X the width and 1X depth prior to installation. Plants shall be set plumb and straight. When backfilling lightly tamp layers in 6" lifts. Do not over compact. A 1/4" probe should be able to penetrate to a depth of the rootball with hand pressure. A 3" mulch layer shall be applied over rootball excluding the area 6" from the trunk/stem. Stake and install trees according to details. Trees shall be secured loosely and allow trunk to sway. Sod. All areas to be established, sodded, sprigged, or sodded shall be prepared in a manner to ensure normal, vigorous and healthy growth.

Fine grade lawn areas to smooth, even surface with with loose, uniformly fine texture. Roll, rake and drag lawn areas, remove ridges and fill depressions with topsoil as required to meet finish grades. In areas to be sodded, allow for sod thickness. Sod Installation. Lay sod in straight, parallel rows to form a solid mass with tightly fitted joints, without overlap. Stagger strips to offset joints. Work topsoil into minor cracks. On 1:3 slopes or greater, lay sod with long dimension of pads parallel to contours and stake sod as necessary to stabilize. Drive sod stakes flush with top of sod. Sprigging and Seeding. Sprigging/seeding shall be done in a manner to ensure a quick grow-in period achieving a uniform green lawn prior to final acceptance.

LANDSCAPE PART 5 MAINTENANCE

Plant Material. Maintain all plant materials until Final Acceptance. Maintenance shall include all required watering, cultivation, weeding, mowing, pruning, wound dressing, immediate replacement of dead and unacceptable material, straightening plants which lean or sag, adjustment of plants which are planted too low, and any other procedure consistent with good horticultural practice necessary to ensure normal, vigorous and healthy growth of all planting under the Contract. Lawns. Maintain lawns until Final Acceptance. Rascal settled or eroded sod areas to proper grade. Fill open joints with topsoil. Keep sod free of insects and disease.

LANDSCAPE PART 6 FINAL INSPECTION AND ACCEPTANCE

Final Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

Initial Inspection and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans. After final acceptance, the Contractor will not be responsible for damage to work resulting from; neglect by Owner, conditions such as floods, excessive wind, severe freezing or abnormal rains; or other activities clearly beyond the Landscape Contractor's control.

LANDSCAPE PART 7 GUARANTEE

Guarantee. All plant materials and trees installed by the Contractor shall be guaranteed for 365 days from the date of final acceptance. The Contractor shall replace at no additional cost to the Owner, all plant materials which die and/or which are not healthy and in a good growing condition during the guarantee period. Replacement of such material shall occur within ten (10) days from Owner's written notification to the Contractor. The 365-day guarantee period for replaced plant materials shall commence on the date of acceptance of the replaced item or items of plant material. The Contractor shall not be required to replace, repair, or restore any portion of the work that is damaged, defaced, disturbed, improperly maintained, and/or destroyed by others after final acceptance.

IRRIGATION PART 1 GENERAL NOTES

Scope. This section includes irrigation and supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference:

- HANDBOOK OF TECHNICAL IRRIGATION INFORMATION by Hunter Industries Inc. - 1996
- THE COMPLETE IRRIGATION WORKBOOK by Larry Keesen - 1995
- PUBLICATIONS, NOTES, AND PAPERS by The Center of Irrigation Technology, California State University - Fresno, California
- PUBLICATIONS and STANDARDS by The Florida Irrigation Society - Orlando, Florida
- PUBLICATIONS by The Irrigation Association - Falls Church, Virginia INSTALLATION GUIDE FOR PVC

Irrigation Quantities. All irrigation material quantities shown in the plans are approximate. The Contractor shall be fully responsible for determining all quantities. The Contractor shall submit a revised irrigation schedule with final irrigation quantities as part of the contract and prior to construction.

On-Site Conditions and Adjustments. Irrigation equipment shown on the plans is approximate. Irrigation shall be adjusted to fit actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance. He shall, without extra cost and by licensed contractors, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Substitution of Materials. Any substitution from the specified brands, models or sizes shall be submitted to the owner or the owner's representative for approval. Material substitutions or design changes must be shown to comply with the system design intent and rectify any necessary performance changes and be in compliance with all city, state, and federal regulations.

IRRIGATION PART 2 INSTALLATION PROCEDURES

General. Prior to commencement of any work the Irrigation Contractor shall obtain all necessary permits and licenses, inspect the site and locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative.

Backflow Prevention. Backflow preventer shall be installed according to manufacturer's recommendations. Filters and Strainers. Filter/Strainers shall be installed per manufacturer's recommendations.

Irrigation Controller. The irrigation controller shall be UL listed, conform to the provisions of the National Electric Code, and properly grounded in accordance with manufacturer's recommendations.

Rainfall Shutoff Device. A rain sensor shall be installed as close as possible to the control equipment and per manufacturer's recommendations. Install the first 18 inches of rain sensor wire below ground level and all wire above ground in conduit. When systems are pressurized by a pump, provision shall be made to ensure shutoff device does not allow pump to activate.

Pipe.

- Pipe shall be installed at sufficient depth below ground to protect it from hazards such as vehicular traffic. Landscape vehicular traffic areas are those landscaped areas subject to vehicular use such as traffic crossings, parking areas, etc. Depths of cover shall conform to NRCs-FL-34-0D, Water Conveyance, as follows:
 - Landscaped Vehicle Traffic Areas - Landscaped areas subject to routine automotive or heavy equipment traffic.

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 2-1/2"	18"
3"-5"	24"
6" and larger	36"
 - Non-Traffic and Non-Cultivated Areas

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 1-1/2"	6"
2"-3"	12"
4"-6"	18"
More than 6"	24"

- The trench bottom must be uniform, free of debris, and of sufficient width to properly place pipe and support it over its entire length. Make all pipe joints and connections according to the material manufacturer's recommendations. Perform all solvent-weld connections in accordance with ASTM D-2855. Contractor shall install all piping and related materials in accordance with the manufacturer's specifications and the following standards: ASTM D-1785-99, ASTM D-2241-00, ASTM D-2466-01, ASTM D-2464-99, ASTM D-2239-99, ASTM D-2564-96a, ASTM F-656-96a, ASAE S435.
- Thrust blocks are required on all fittings at dead ends and whenever the line changes direction of 30

degrees or more. Thrust blocks shall be installed in a manner to ensure no pipe shifting occurs. Size thrust blocks in accordance with ASAE Standard S-376.2.

- Contractor shall flush irrigation system installation at the appropriate stages based on commercially accepted methods.

- After installation, flushing, and inspection or testing, contractor shall backfill the pipe trench with soil free from rocks or stones larger than 1-inch in diameter in a commercially accepted manner.

Pipe Sleeving. Pipe sleeves shall be at least two pipe sizes larger than the carrier pipe or twice the diameter of the wire bundle to be placed under the paving or roadway, and extending a distance at least equal to its installed depth beyond the paved area. Schedule 40 PVC pipe shall be used for sleeves.

Valves. Valve installation shall allow enough clearance for proper operation and maintenance. Where valves are installed underground, they shall be provided with a valve box with cover extending from grade to the body of the valve. The top of the valve body should have a minimum of 6 inches of cover in non-traffic and non-cultivated areas and 18 inches of cover in traffic areas.

Locate manually operated control valves so they can be operated without wetting the operator.

Valve Boxes. Contractor shall install valve boxes according to the manufacturer's recommendations.

Wire. Electrical control wire shall be sized in accordance with the valve manufacturer's specifications. Install only UL listed direct burial low voltage wire (30 volts or less) with a minimum depth of cover of 12 inches.

Provide a sufficient length of wire at each connection to allow for thermal expansion/shrinkage. As a minimum, provide a 12-inch diameter loop at all splices and connections. Terminations at valves will have 24" minimum free wire. Provide common wires with a different color than the power wires (white shall be used for common wires). Use wire connectors that are approved for direct burial. A valve box shall be used for all underground wire splices. Install all above-ground wire runs and wire entries into buildings in conduit.

Sprinklers. Install sprinklers plumb unless they are installed on slopes where they can be tilted as required to prevent erosion. Sprinklers shall be adjusted to avoid unnecessary discharge on pavements and structures. Provide a minimum separation of 4 inches between sprinklers and pavement and 12 inches between sprinklers and vertical structures or as local codes dictate. Riser-mounted sprinklers shall be supported. Swing joints shall be constructed to provide a flexible, leak-free connection between the sprinkler and lateral pipeline to allow movement in any direction and to prevent equipment damage.

Micro Irrigation. Micro-irrigation equipment shall be installed according to the manufacturer's recommendations for the specific application. Stake all surface tubing every three to six feet depending on site conditions and manufacturer's recommendations with eight inch staples.

IRRIGATION PART 3 TESTING, SUBMITTALS, FINAL INSPECTION AND ACCEPTANCE

Testing. All mainlines and laterals shall be tested to be free of leaks. Rainfall shutoff device shall be tested to ensure proper shut-off of control equipment.

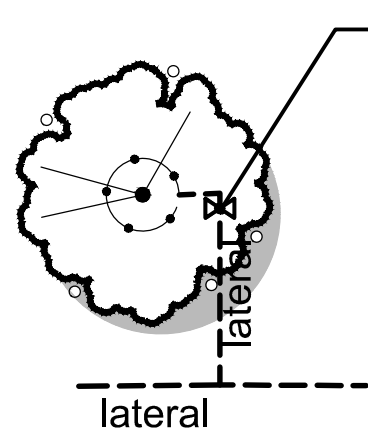
Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

Inspections and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans.

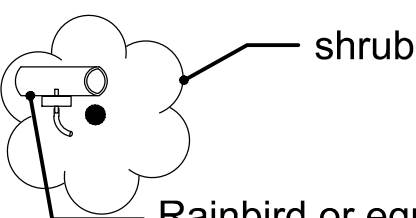
Post Construction Documentation & Instruction. The Contractor shall provide manufacturer's product literature, operation manuals, testing and inspection certificates, and record drawings to the owner or owner's representative. Record drawings shall show all changes in the design to indicate the actual installation sizes, types, and locations of all equipment and materials with the application for final payment. Contractor shall provide minimal instruction to owner, if applicable, describing any need to know information regarding the daily operation of the system.

IRRIGATION PART 4 GUARANTEES

The irrigation system contractor shall assume full responsibility for the proper installation of the system. Contractor shall guarantee the installation workmanship for a minimum period of one (1) year from date of final acceptance. The irrigation system contractor shall make all necessary, reasonable efforts to handle any warranty claims within the guarantee period in a reasonable time period. The Contractor shall not be required to replace, repair, or restore any portion of the work without additional service fees that are damaged, defaced, disturbed, and/or destroyed by others after final acceptance. Repairs made by other licensed contractors during the guarantee period shall not void the guarantee.

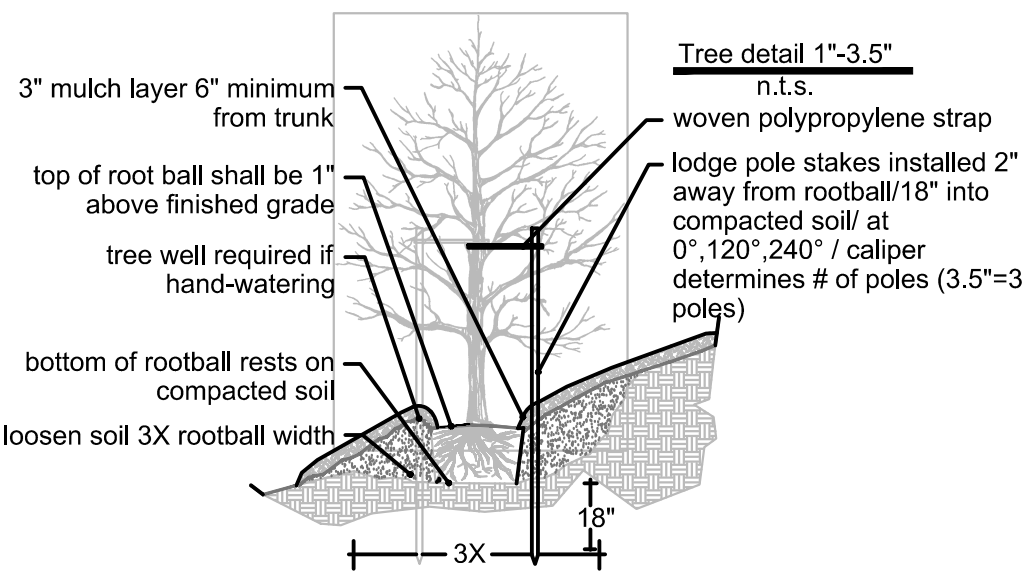
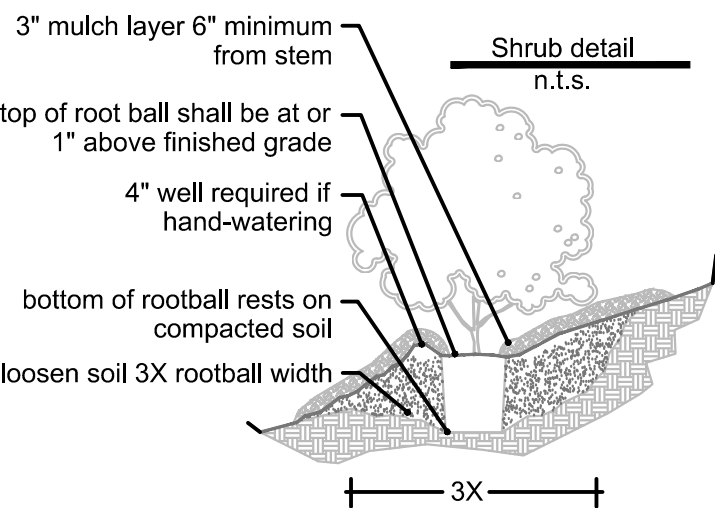


Install Rainbird BVAL50-1S139 or equal shut-off valve at all trees. Install Rainbird or equal XFD blank tubing around each tree with appropriate amount of equally spaced drip emitters. Quantity of Rainbird XB-#PC or equal emitters per tree are specified on the irrigation sheet. Drip shall encircle tree and be offset 2" from edge of rootball. Terminate drip encircling each tree with a compression hose end cap. Secure all emitter locations with ground staples.



Rainbird or equal XFD blank tubing with Rainbird XB-#PC or equal emitter at same precipitation rate installed overtop of rootball or attach 1/4" tubing to emitter with bug cap to reach plant rootball off of 1/2" tubing when applicable. Use ground staples to secure emitter locations. Start all drip runs with a Rainbird BVAL50-1S139 shut-off valve. Terminate all drip runs with a compression hose end flush cap. Secure all emitter locations with ground staples.

Use ground staples to secure ALL emitter locations. Pressure regulators shall be used in appropriate locations so all emitters receive pressures between 20-50 psi.



REVISIONS:

LANDSCAPE PLAN
Specifications/Details

COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO. 23310
DRAWN BY: BDB
DESIGNED BY: BDB
CHECKED BY: BDB
DATE: 1/30/2024

PLANS PREPARED BY

BRYAN DAVID BORTON FL
NO. LA667028

LS-03

GENERAL NOTES

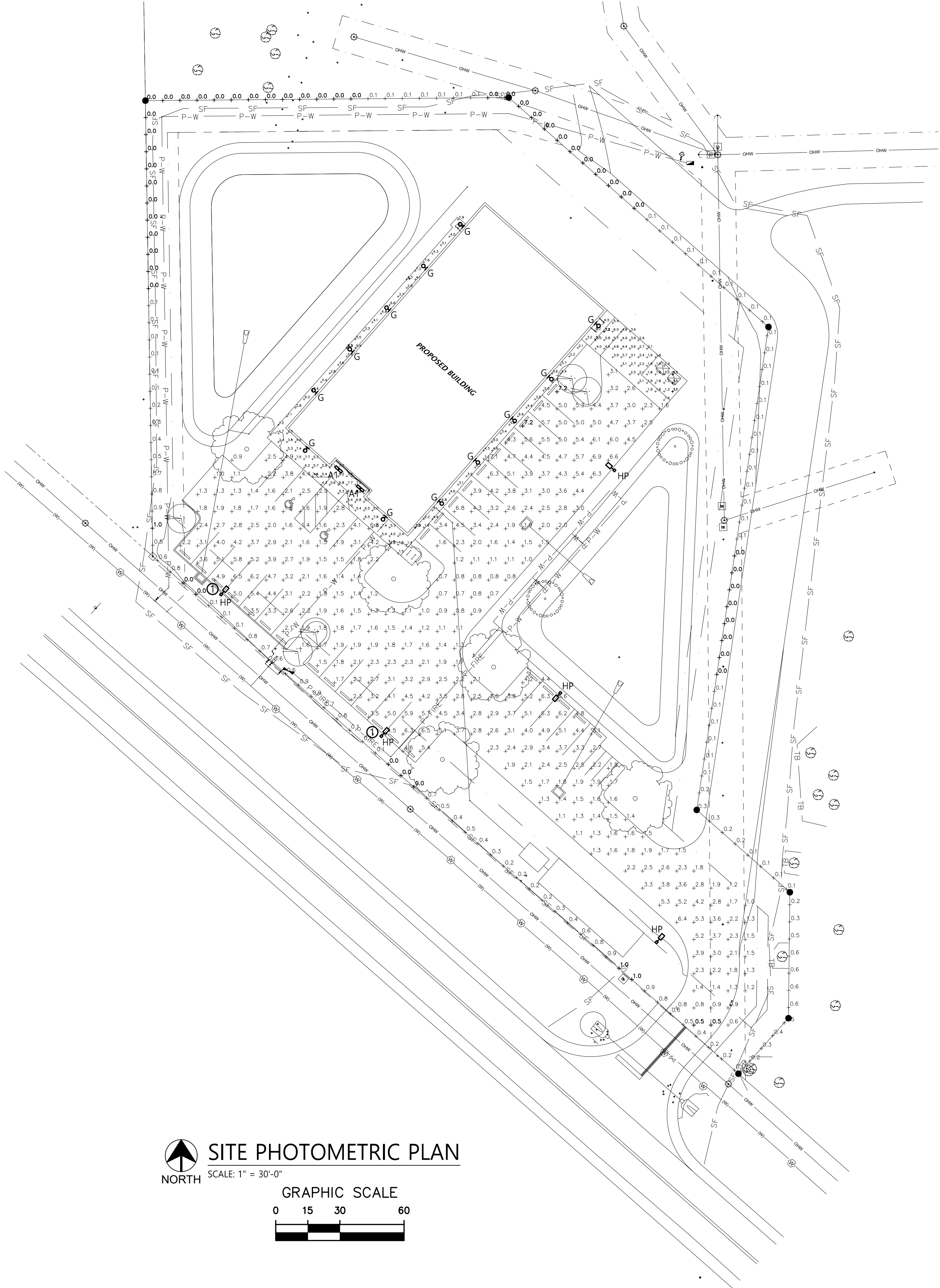
- HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
- POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB AND SHALL BE PROVIDED WITH CONCRETE POLE BASE.
- THIS DRAWING IS NOT INTENDED TO CONSTITUTE A CONSTRUCTION DOCUMENT AND SHALL BE USED FOR PERMITTING PURPOSES ONLY.

PLAN NOTES

- ① FIXTURE TO BE SUPPLIED WITH HOUSE SIDE SHIELD.

Photometric Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DUMPSTER AREA	+	3.0 fc	7.2 fc	1.1 fc	6.5:1	2.7:1
BUILDING WALKWAY	+	5.0 fc	8.3 fc	1.0 fc	8.3:1	5.0:1
PARKING LOT	+	2.5 fc	7.2 fc	0.5 fc	14.4:1	5.0:1
PROPERTY LINE	+	0.2 fc	1.0 fc	0.0 fc	N/A	N/A

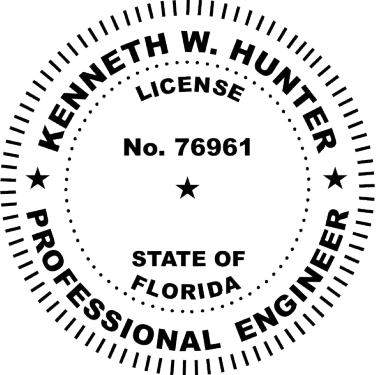
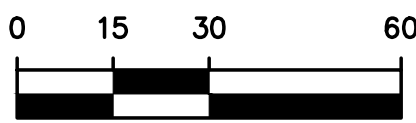
Luminaire Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Mounting Height
A	A1	2	LEDS	VFRC4F	4FT LED VAPORTIGHT LIGHT	1	5200	0.81	CANOPY
G	G	12	LEDS	WP4053/WP-40-52-MV	LED WALL PACK	1	5200	0.81	12FT
HP	HP	5	LEDS	TS-SL0415-150W-5000K	LED POLE MOUNT AREA LIGHT	1	13632	0.81	25FT



SITE PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"

GRAPHIC SCALE



This item has been electronically signed and sealed by Kenneth W. Hunter, P.E. on 1/30/24 using a Digital Signature.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

HUNTER DESIGN AND CONSULTING, INC.
696 1ST AVE N, STE 200
ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

CRS FT WHITE
SITE PHOTOMETRIC PLAN
COLUMBIA COUNTY, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	23031
DRAFTED:	K. HUNTER
DESIGNED:	K. HUNTER
REVIEWED:	K. HUNTER
ISSUE DATE:	01/30/24
REVISIONS	

SHEET NUMBER

E-1

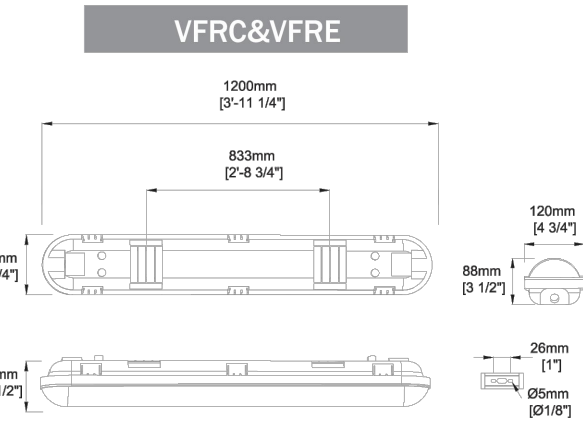
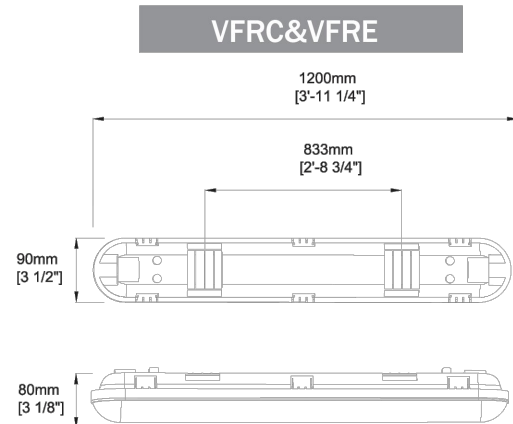


LED Vapor Tight Fixture



FEATURES

The vapor tight fixture is a cost effective and energy efficient alternative to traditional fluorescent tubes or strip light fixtures. Featuring a full-length, casketed polycarbonate lens and single piece non-corrosive polycarbonate body, this vapor tight led is protected with IP65 rating, sealed and casketed against dust, dirt, and humidity, making it ideal for both indoor and outdoor harsh environments applications, including utility lighting, parking garages, freezers and cold storage facilities, food processing, car washes, stairwell lighting and low bay lighting. Additionally, ceiling or surface mounted, this led tri proof light has an initial lumen range of 105-150LPW, and features 0-10V dimming standards. As well, this model comes with a motion sensor for maximum energy savings as well as 90 mins emergency battery backup options.



FEATURES

- UL/cUL listed for wet locations, IP65 rated
- DLC 4.4 Premium certified
- 105-150 lumens per watt
- 100-277VAC universal voltage
- 0-10V dimming optional
- Microwave Motion Sensor for Bi-Level control
- 90 mins Emergency Battery Backup

APPLICATIONS

- Wet areas
- Outside walkways
- Warehouses
- Storage areas
- Industrial units
- Farm buildings (Non-corrosive atmosphere)
- Garages
- Workshops
- Car parks
- Changing rooms
- Resistant to impact and many chemical agents, but for suitability in specific environments please take specialist advice



LEDs LLC
N8774 Firelane 1
Menasha, WI 54952
P: 920-840-6054
F: 920-840-6424
www.leds-llc.com



LED Full Cut Wall Pack



WALL PACK

Wall pack light is one of the most dependable lights for security lighting luminaire. Applications include perimeter, security, stripmall, entrance ways, and any general outdoor surface. The high performance optics are specifically designed to produce a Type III distribution.

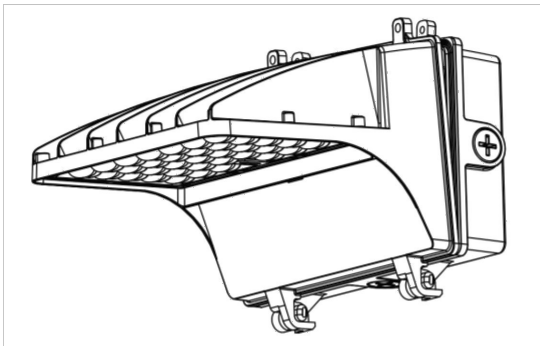
DESCRIPTION

- Energy Saving 40 Watt Integrated LED
- Lasts 45 years* or 50,000 Hours Continuous Use
- Maintenance Free — No Bulb Replacements
- 5 Year Limited Warranty



WP4053 / WP-40-52-MV

Input Voltage	120-277V
Wattage	40W
Dimmability	Dimmable
Lumens	5200Lm
CCT	5000K
Avg Rated Life ¹	50,000 hours
Power Factor	0.9
IP Rating	Wet Location
CRI _a	>80Ra
Working Temp.	Min -4°F (-20° C) Max 104°F (40° C)
Product Dimensions	9.3 x 7.1 x 8.9 in
Product Weight	1.8lbs
Master Carton Weight	19.8lbs
Case Pack	4 pc



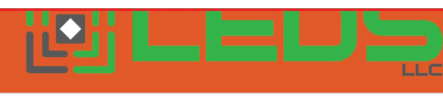
1 Hours lifetime with 70% lumen maintenance
2 Thermally stable typical lumens (±10%)
3 Thermally stable CCT (±10%)
4 Color rendering index/Ra



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FIXTURE TYPE: HP

NOTE: HORIZONTAL POSITION ONLY FOR FULL CUT-OFF OPERATION.



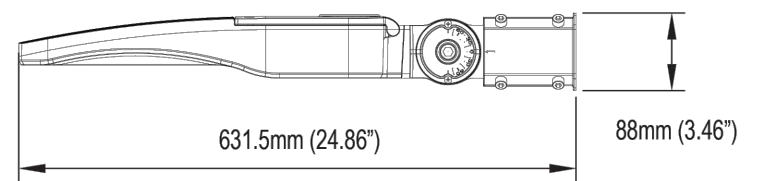
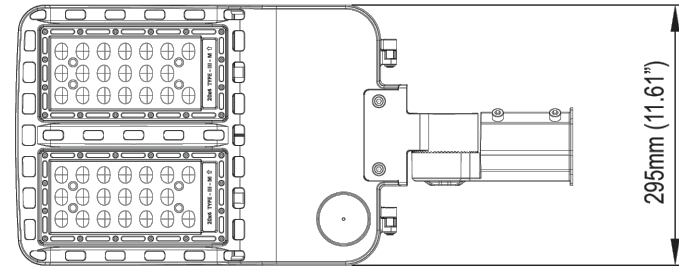
Area Lights



Front View



Back View



Structure Features

- Shell materials: Aluminum & PC.
- Finish: Dark Bronze/White
- Net Weight: 2.9Kg (6.4 lbs)
- Product Size: 631.5mm*295mm*88mm
- Carton Size: 390mm*267mm*185mm

Area Light Series (Parking Lot)

Order Code	Part Number	Watts	Lumens	CCT	Input	Voltage
AL1210	AL-64-15050-MV	150	18000	5000	>80	120-277
AL1112	AL-24050-MV	240	28000	5000	>80	120-277

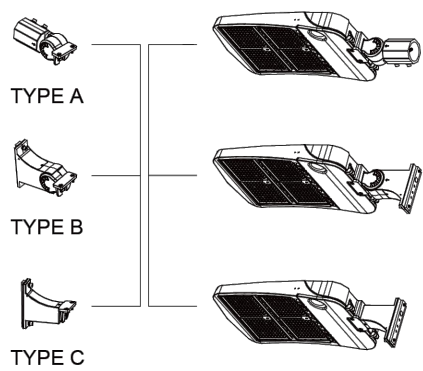


Glare Shield
AL150SH

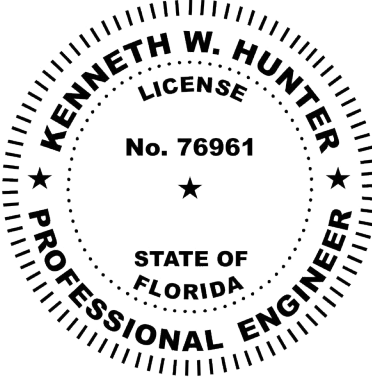
Simple 4 screw
attachment

150 / 240W MOUNTING BRACKETS:		
Mount Type	Order Code	Part #
Slip Fitter (A)	AL6660	AL-SF-002
Square Pole Mount (B)	AL6661	AL-SP-002
Round Pole Mount (C)	AL6662	AL-RP-002

There are 5 optional brackets for this fixture.
The following is shoebox fixtures with
different brackets.



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This item has been electronically signed
and sealed by Kenneth W. Hunter, P.E.
on 1/30/24 using a Digital Signature.

Printed copies of this document are not
considered signed and sealed and the
signature must be verified on any
electronic copies.

HUNTER DESIGN AND CONSULTING, INC.
696 1ST AVE N, STE 200
ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

CRS FT WHITE
FIXTURE INFORMATION
COLUMBIA COUNTY, FLORIDA

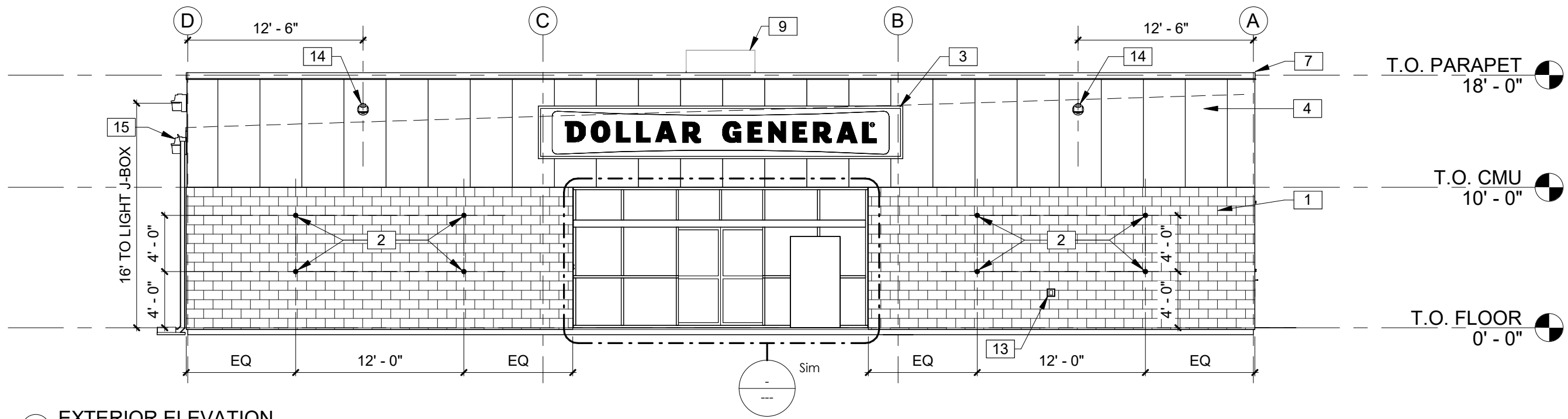
PROJECT INFORMATION

PROJECT NUMBER: 23031
DRAFTED: K. HUNTER
DESIGNED: K. HUNTER
REVIEWED: K. HUNTER
ISSUE DATE: 01/30/24

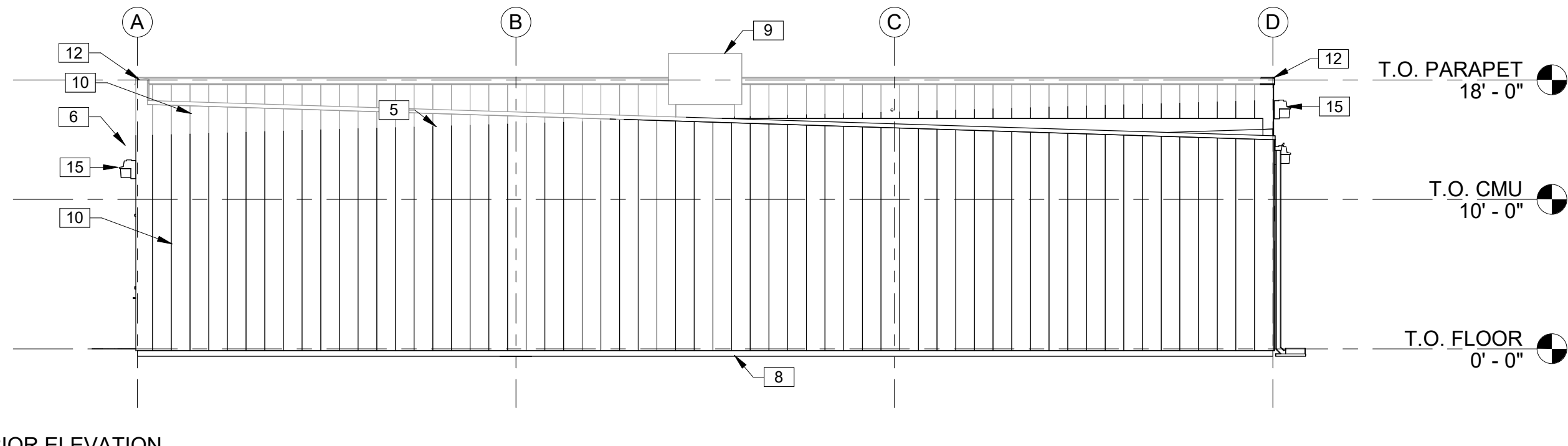
REVISIONS

SHEET NUMBER

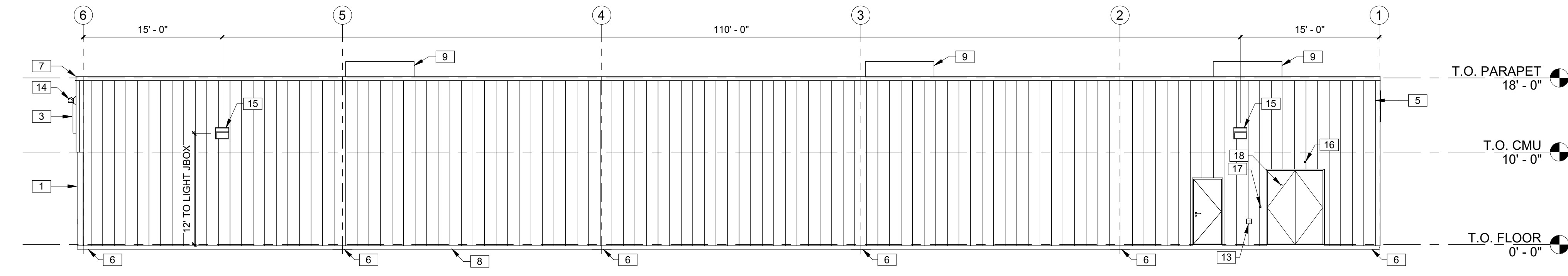
E-2



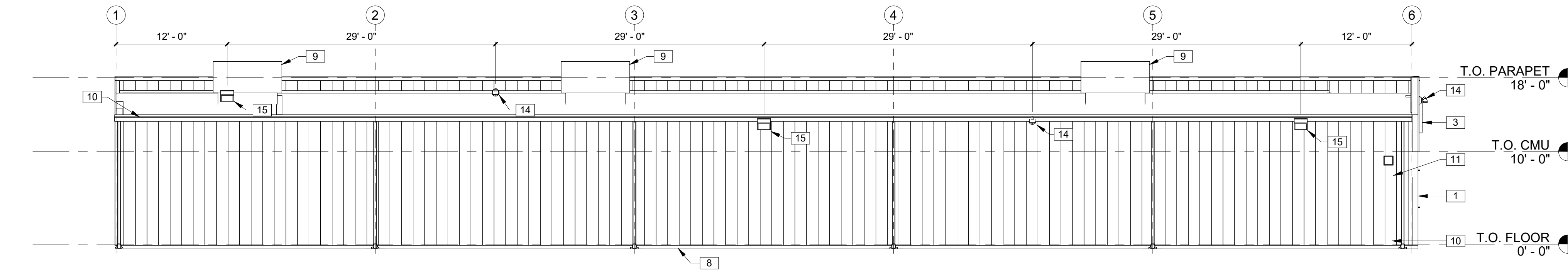
1 EXTERIOR ELEVATION
1/8" = 1'-0"



2 EXTERIOR ELEVATION
1/8" = 1'-0"



3 EXTERIOR ELEVATION
1/8" = 1'-0"



4 EXTERIOR ELEVATION
1/8" = 1'-0"

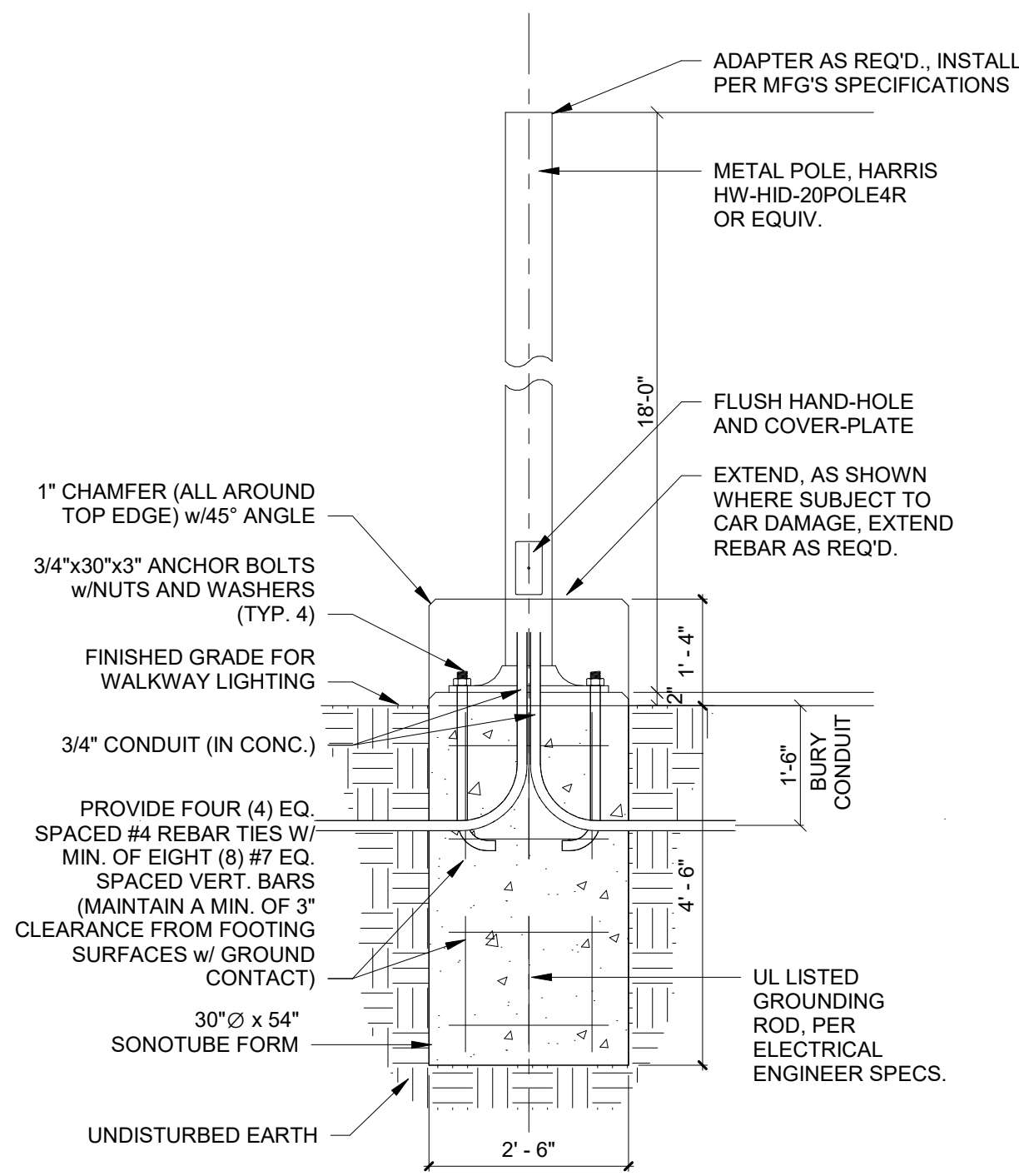
KEYNOTES	
1	8" SPLIT FACE CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE. CMU WALL TO BE REINFORCED W/#5 VERT. @ 48"O.C. TYP. DUROWALL 2 16"O.C. BOND BEAMS TO HAVE (2)#5s FLASHING ONLY BETWEEN GROUTED CELLS. PAN FLASHING IS AN ACCEPTABLE ALTERNATE. MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS. TOP COURSE TO BE SMOOTH. GROUT CELL @ ANCHOR BOLT LOCATIONS. MESH AT BASE OF CMU TO CONFIN GROUT. SEE STRUCTURAL DRAWINGS.
2	1/2"DIA x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1"DIA OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. (4) BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. (8) TOTAL BOLTS.
3	SIGN FURNISHED AND SUPPLIED BY TENANT WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH TENANT.
4	PRE-FINISHED METAL WALL PANELS FOR THE FASCIA AND PARAPET OVER THE ENTRANCE. REVERSE RIB PROFILE.
5	STANDING SEAM METAL ROOF BY PEMB MANUFACTURER, GALVALUME FINISH.
6	PRE-FINISHED GUTTER AND DOWNSPOUT. PROVIDE LEAF GUARDS IF LOCATED WITHIN 25'-0" OF A TREE. WHERE NO SIDEWALK EXISTS, MIN. 5' 4" PERFORATED LANDSCAPE PIPE, STRAPPED TO A 12"X24" CONCRETE SPLASHBLOCK. SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
7	PRE-FINISHED METAL COPING.
8	CONCRETE SLAB AND FOUNDATION WITH STRUCTURAL MIN 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE STRUCTURAL DRAWINGS.
9	ROOFTOP HVAC UNIT. SEE MECHANICAL DRAWINGS.
10	PRE-FINISHED METAL WALL PANELS FOR THE SIDES AND REAR. PROVIDE TAMPER RESISTANT FASTENERS FOR BOTTOM 8'-0".
11	VENT FOR BATHROOM EXHAUST. SEE MECHANICAL DRAWINGS.
12	PARAPET BEYOND.
13	WALL HYDRANT, EXACT LOCATION TO BE FIELD VERIFIED. SEE PLUMBING DRAWINGS.
14	FLOOD LIGHT. ATTACH LIGHTS PER MANUFACTURER'S STANDARDS, TYP. SEE ELECTRICAL DRAWINGS.
15	LED WALL PACK. ATTACH LIGHTS PER MANUFACTURER'S STANDARDS, TYP. SEE ELECTRICAL DRAWINGS.
16	OUTSIDE AIR TEMPERATURE SENSOR MOUNTED ABOVE RECEIVING DOORS.
17	RECEIVING DOOR BUZZER. SEE ELECTRICAL DRAWINGS.
18	2" DOOR SCOPE.

	PRE-ENGINEERED METAL BUILDING VENDOR	VP BUILDINGS DAVID ENGLISH (901)-568-4537	STAR BUILDING SYSTEMS RODNEY BURT (800)-879-7827	NUCOR BUILDING SYSTEMS BOB BARRY (315)-622-4440 (260)-837-7891	BIG BEE STEEL BUILDINGS, INC. KEVIN BUSLER (800)-633-3378	CHIEF BUILDINGS ERIN SULLIVAN (800)-845-1767	PREFERRED COLORS IF EXTERIOR MATERIALS ARE NOT METAL PANELS
EXTERIOR FINISHES							
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEM'S FINISH SELECTION UNLESSS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.							
GUTTERS		COOL EGYPTIAN WHITE					
DOWN SPOUTS		COOL DARK BRONZE					
SIDE AND REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)		BRONZE					
ARCHITECTURAL BLOCK AT BUILDING FACADE TO BE PRE-FINISHED OR PAINTED (2 COATS-LOXON XP MASONRY COATING A24W400 SERIES) TO MATCH THE SIDE AND REAR METAL WALL PANELS		COOL COTTON WHITE					
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA		GALVALUME					
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY		LIGHTSTONE					
STOREFRONT SYSTEM		MEDIUM BRONZE KYNAR 500					
STANDING SEAM METAL ROOF PANELS		BRONZE					
LINER PANELS (INTERIOR SALES AND RECEIVING FLOOR)		POLAR WHITE					
		GALVALUME					
		LIGHTSTONE					
		MEDIUM BRONZE KYNAR 500					
		BRONZE					
		POLAR WHITE					
		GALVALUME					
		SANDSTONE					
		BURNISHED SLATE					
		BRONZE					
		POLAR WHITE					
		GALVALUME					
		PARCHMENT					
		ANTIQUE BRONZE					
		BRONZE					
		POLAR WHITE					
		GALVALUME					
		SHERWIN WILLIAMS #7037 - "BALANCED BEIGE"					
		SHERWIN WILLIAMS #7041 - "VAN DYKE" BROWN					
		BRONZE					
		WHITE BY PEMB MANUFACTURER					
		GALVALUME					

NOTE:
1. REFER TO SHEET T1.0 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.

REVISIONS		
NO.	DATE	BY:

ORIG. ISSUE DATE:	12.22.2023
DRAWN BY:	CMV
CHECKED BY:	JM
PROJECT NUMBER:	21048
DRAWING TITLE:	EXTERIOR ELEVATIONS



NOTES

DESIGN COMPLIES WITH 2014 FLORIDA BUILDING CODE, 5TH EDITION, SECTION 1609 AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE THE LATEST EDITION AT THE TIME OF PERMIT APPLICATION.

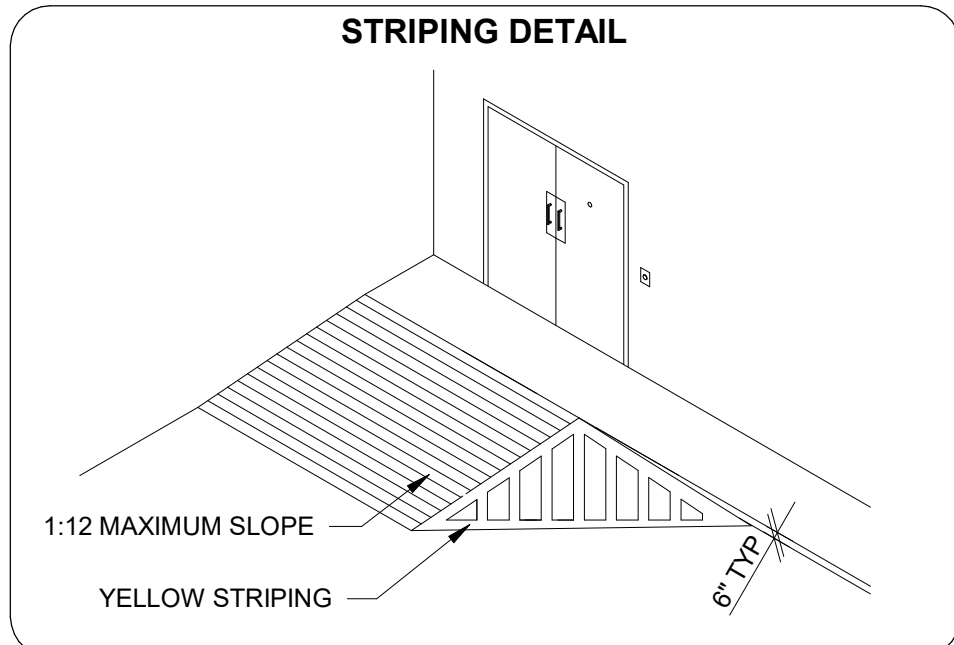
ALL EXPOSED CONCRETE TO HAVE RUBBED FINISH.

LIGHT FIXTURE: AS SELECTED BY OWNER (SEE CIVIL/PHOTOMETRIC DRAWINGS)

LIGHT POLE: HARRIS HW-HID-20POLE4R (OR EQUIV., INSTALL PER MANUFACTURER'S SPECIFICATIONS).

DESIGN WIND LOAD: RISK CATEGORY 2, EXPOSURE B BASED ON ANSI/ASCE 7-10 1609.3.1 = WIND SPEED CONVERSIONS: V=120MPH

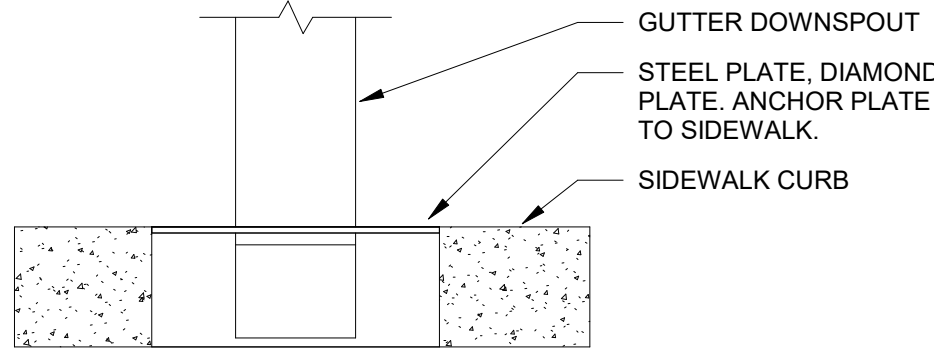
FOR REFERENCE ONLY. SEE CIVIL PLANS.



STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, AND METAL SURFACES FREE OF HEAVY RUST. TWO COATS SHERWIN WILLIAMS KEIM4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300.
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT YELLOW TM5495.
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT "H.C." BLUE.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY.

FOR REFERENCE ONLY. SEE SIGNED AND SEALED CIVIL ENGINEERING PLANS.



Premium Steel Pole

HW-HID-20POLE4R

Application

Premium square steel pole offer the ultimate in strength and reliability for outdoor lighting.

General Description

Non-tapered steel poles are supplied with welded base with cover, four galvanized anchor bolts, masonite mounting template, and a pole cap (except tenon mount). Each bolt is provided with two washer and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" (51 x 152 mm) hand hole, located 18" (457 mm) above bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside pole, opposite hand hole; a hand hole cover is supplied but shipped separately.

Warranty

Harris standard terms and conditions apply.

Features

- Crown-Weld pole base
- Bronze Finish
- Exact Pole to Fixture finish color match
- Steel pole base cover and pole cap with matching finish
- 2"x6" hand hole near base
- Masonite bolt template

Ordering Information

Use the Flow chart below to configure the part number. Actual part number may vary due to configuration.

Catalog No.	Length (feet) x Width (inches) x Wall (inches)	Bolt Circle Range (inches)	Bolt Pattern Range (inches)	Bolt Size (inches)	Weight (lbs)
HW-HID-20POLE4R	20' x 4' x 0.125	109.5-111	6.6-7.7	3/4	150

Wind Specification	EPA Rating
10 MPH	1.1
15 MPH	1.7
110 MPH	6.1
120 MPH	6.2
130 MPH	2.7
140 MPH	1.5

Bolt Diameter: Threads per Inch x Length x Hook	Weight
3/8" x 10 x 3/4" x 3"	3 lbs. 15 oz.

4035 REYNOLDS BLVD . GREEN COVE SPRINGS . FL 32043 . (800) 331-2216 . HARRISLIGHTING.COM

1 CIVIL SITE PLAN

2 LIGHT POLE BASE
1/2" = 1'-0"

3 DOWNSPOUT AT SIDEWALK
1 1/2" = 1'-0"

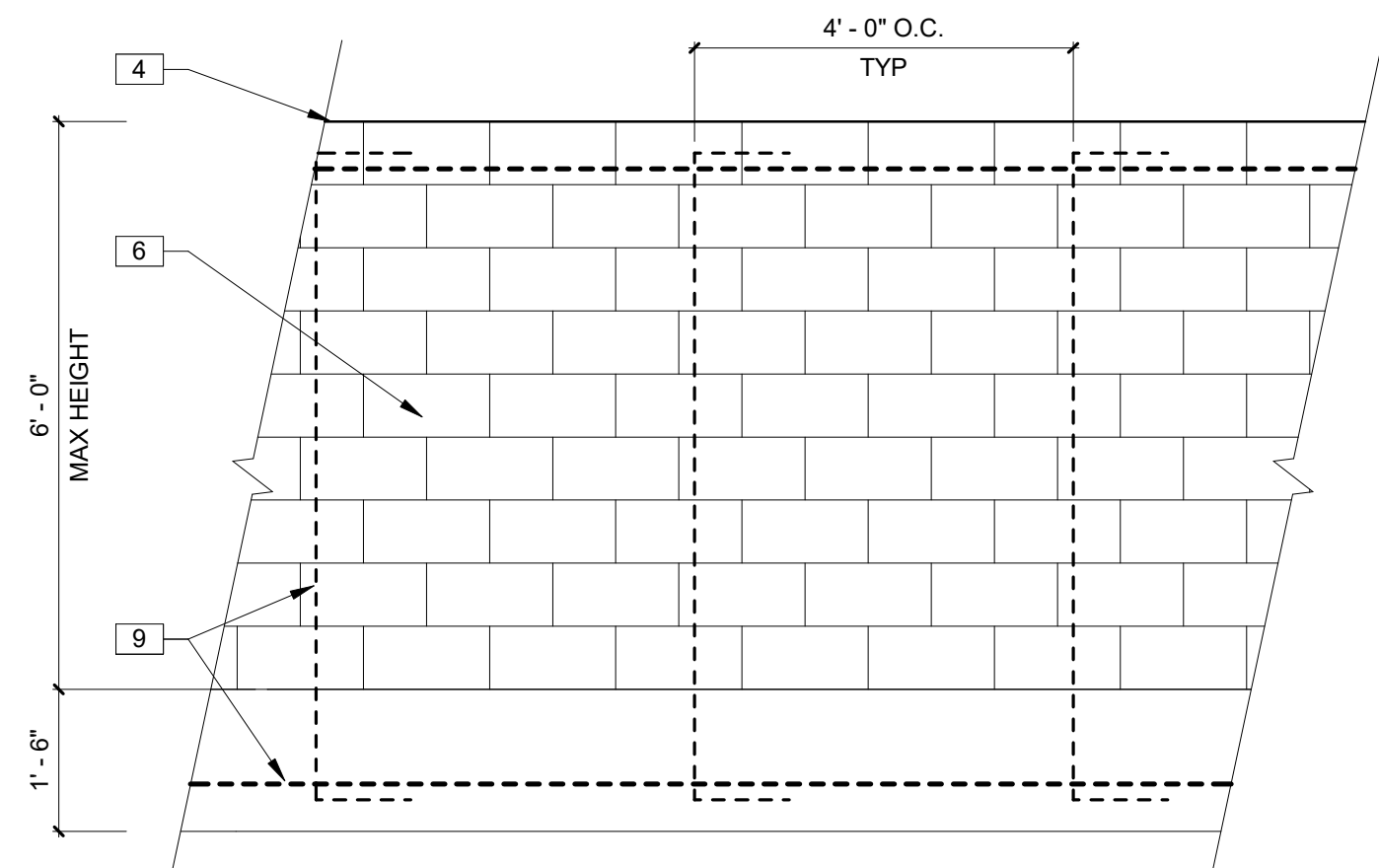
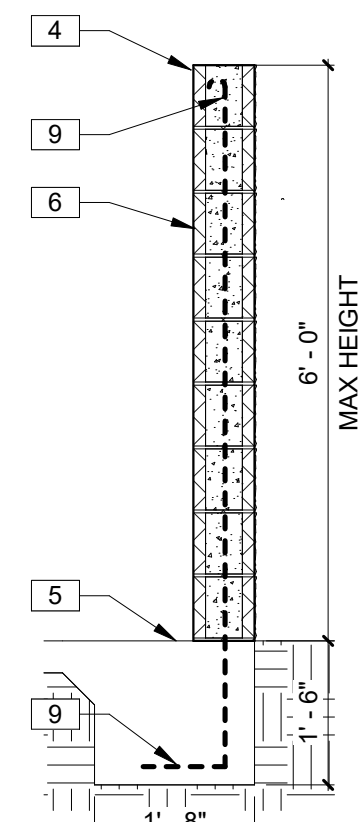
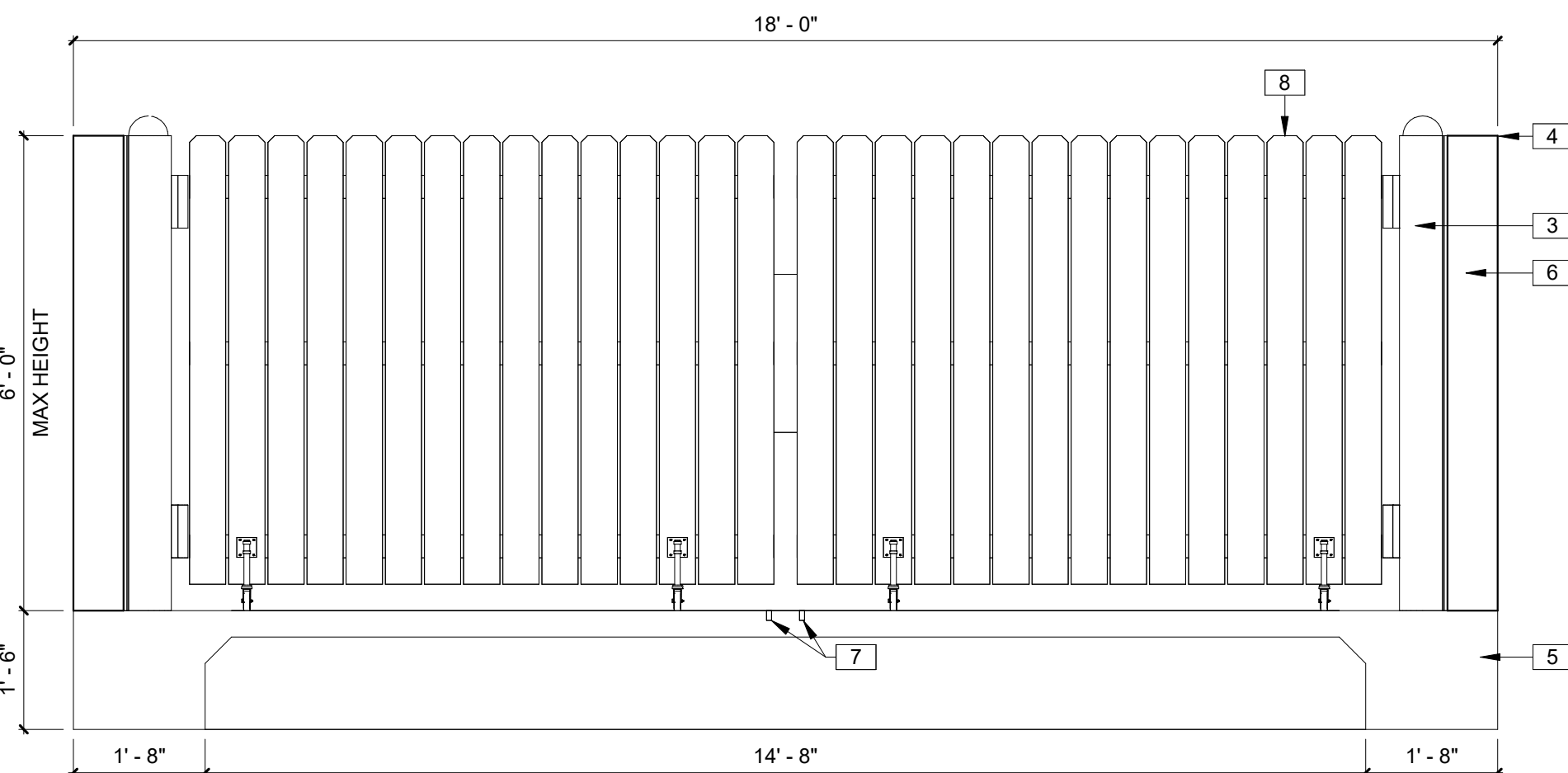
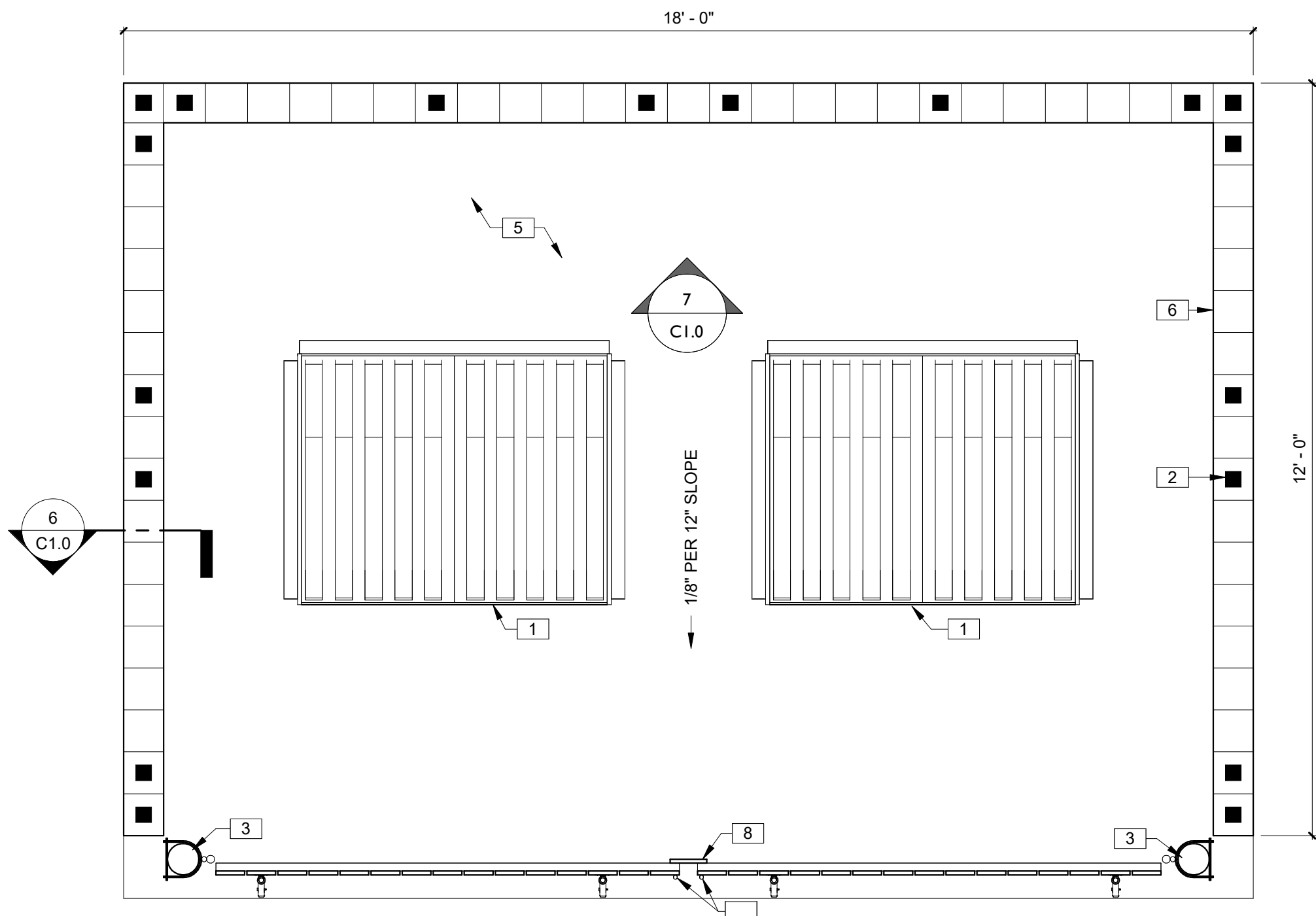
KEYNOTES

- 3/4" DIAMETER BY 1-1/2" DEEP RECESSES FOR GATE CANE BOLTS. PROVIDE TWO FOR EACH GATE IN CLOSED AND OPEN POSITION. FIELD VERIFY EXACT LOCATIONS.
- DUMPSTER (NIC).
- SOLID POURED CELL EVERY 48" W/(1)#5 CONT. DRILLED AND EPOXIED FROM TOP TO BOTTOM W/12" HOOK EACH END AND MIN. 30" SPLICE.
- 6" BOLLARD, POUR SOLID. PAINT TO MATCH BUILDING/CMU. SEE CIVIL PLANS FOR EMBEDMENT.
- TOP OF WALL, BOND BEAM SOLID POURED CONT. W/(2)#5 REBAR.
- 4" THICK FINISHED SLAB WITH FOOTING. DESIGN CONCRETE PAD TO WITHSTAND 10,000# SINGLE WHEEL LOADS.
- 8" SPLIT-FACED CMU W/(1)#5 AT 48" O.C. TYP. MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS. PAINT BLOCK TO MATCH BUILDING.
- 3/4" DIAMETER BY 1-1/2" DEEP RECESSES FOR GATE CANE BOLTS. PROVIDE TWO FOR EACH GATE IN CLOSED AND OPEN POSITION. FIELD VERIFY EXACT LOCATIONS.
- PRESSURE TREATED (P.T.) GATE, ON MIN. 1-1/2" DIAMETER PIPE FRAME WITH ROLLER WHEELS TO PREVENT SAGGING.
- (2)#5 CONT. W/12" STANDARD HOOK.

CONCRETE SHALL BE STANDARD MIX F'c=3000 PSI FOR ALL FOOTINGS AND SLABS OR SHALL BE STANDARD PUMP MIX F'c=3000 PSI. STRENGTH SHALL BE ATTAINED WITHIN 28 DAYS OF PLACEMENT. MIXING, PLACING, AND FINISHING SHALL BE PER ACI STANDARDS.

CONCRETE SHALL BE PER MANUFACTURER'S PRODUCT GUIDE ASTM C-90 REQUIREMENTS WITH MEDIUM SURFACE FINISH.

MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS.



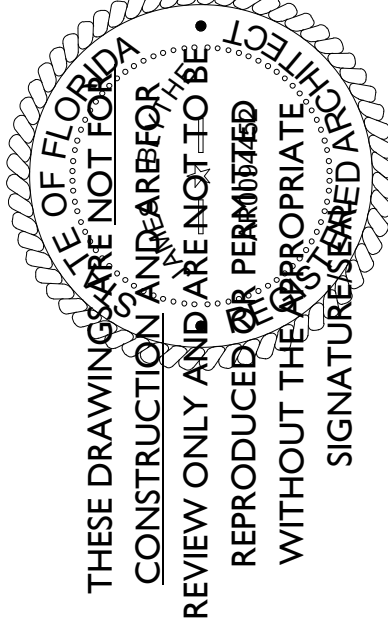
4 DUMPSTER ENCLOSURE PLAN
1/2" = 1'-0"

5 DUMPSTER ELEVATION
1/2" = 1'-0"

6 DUMPSTER SECTION
1/2" = 1'-0"

7 REBAR ELEVATION
1/2" = 1'-0"

JAMES BLYTHE



TO THE BEST OF THE ARCHITECT'S OR THE ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES & THE APPLICABLE LOCAL ORDINANCES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE PROFESSIONAL SEAL, 483 B.C. STATUTES.

DOLLAR GENERAL®

T.B.D. US HWY 27
FORT WHITE, FL 32038

STORE #
2019 PROTOTYPE - PLAN' DGP-8' - 10,640 SQ. FT.

REVISIONS

NO. DATE BY:

ORIG. ISSUE DATE:
12.22.2023

DRAWN BY: CHECKED BY:

MV JM

PROJECT NUMBER:

21048

DRAWING TITLE:

SITE PLAN AND DETAILS

SHEET NO.

C1.0

DATE/TIME STAMP:

12/28/2023 11:57:36

AM